

VSH PREMIER CIRCLE ARB 2022-29

SUBMISSION OF FINAL SITE PLAN

June 21, 2022



EXISTING CONDITIONS - VIEWS FROM THE ENTRANCE CORRIDOR

We are pleased to present to the Architectural Review Board a conceptual building design for the new 81 unit, Single Resident Occupancy (SRO) building developed by Virginia Supportive Housing at Premier Circle. This affordable housing project will provide SRO units and on-site program support for formerly homeless residents. The project is financed by Low-Income Housing Tax Credits (LIHTC) that were awarded in 2021, with an anticipated start of construction in early 2023.

This is the first new construction on the site since recent rezoning approval in 2020. The building is set within a larger vision for the entire site, one which ultimately and strategically combines housing for homeless and formerly homeless and affordable housing - providing as many as 140 affordable multifamily homes while continuing to provide housing for homeless over the next several years. To achieve this goal, the project is phased and this building will be constructed in the middle of the overall site so that the existing, former motel units may remain in operation during and after construction to provide multifamily housing for the homeless population.

At final build-out and after anticipated subdivision, this building will be located one parcel off of the Entrance Corridor of Route 29, thereby sandwiched between future new construction. At final build-out, the site's anticipated pattern will place this building between a new non-residential building that fronts the E.C. and, on the other side, an affordable multifamily building at the rear of the site. Though the building is not in the parcel directly

adjacent, it will be visible from the E.C., as indicated in our perspective images.

This Application Narrative focuses on presenting the building design intent as it will be at initial build-out, showing it in the site surrounded by the existing context. That being said, this application does provide a phased demolition plan, phased site plan, and a perspective image to give a sense for the building in the context of anticipated future build-out. Without knowing the final design of the adjacent buildings, we can only anticipate building mass per allowable building heights and areas (See Appendix).

The proposed building will begin to transform the site from the existing single-story buildings to a higher density mixed-use hub. Although the building will comprise 81 SRO units, the building design, form, and materials are meant to provide a metered building that is pleasant from the vantage of the E.C. and meant to 'break down the scale' of the building for the pedestrian on site.

Care has been taken in designing the building shape to minimize disruption to existing utilities, allow for phased development, and so that the building's future residents can enjoy some adjacent green space and optimal site circulation. The 'l-shaped' building form also reduces overall length of any one side of the building and provides a semi-enclosed meditative and community garden space on the south (E.C.) side of the building. Much of the garden and ground floor will be hidden from view along Route 29 due

to existing site topography and anticipated future development in the parcel fronting route 29, however we have developed these spaces (as well as the overall building) utilizing themes central to the ARB.

The goal for the building design is to allow residents to 'own' and identify their units within the building. Therefore, at the rhythm of the SRO units within, the building 'bumps-out' with a contrasting material; contrasting the light brick (which encompasses the majority of the building) with a darker metal cladding.

As it is a tight site anticipating higher density than seen today, site sidewalks will be close to unit windows in some instances. Therefore, as the building's 'bump-outs' meet the ground they recede to the plane of the building and transform into exterior brick planting boxes to encourage natural screening and provide another way to extend and redefine the experience of the resident within and create a pleasant, softening of the building from afar.

Overall, we see the idea of 'breaking down the scale' as working hand in hand with creating a more human scale destination and home along an active vehicular corridor. We hope to provide a comfortable, pedestrian environment appropriate for residential uses while responding to surrounding context and anticipating future phases.

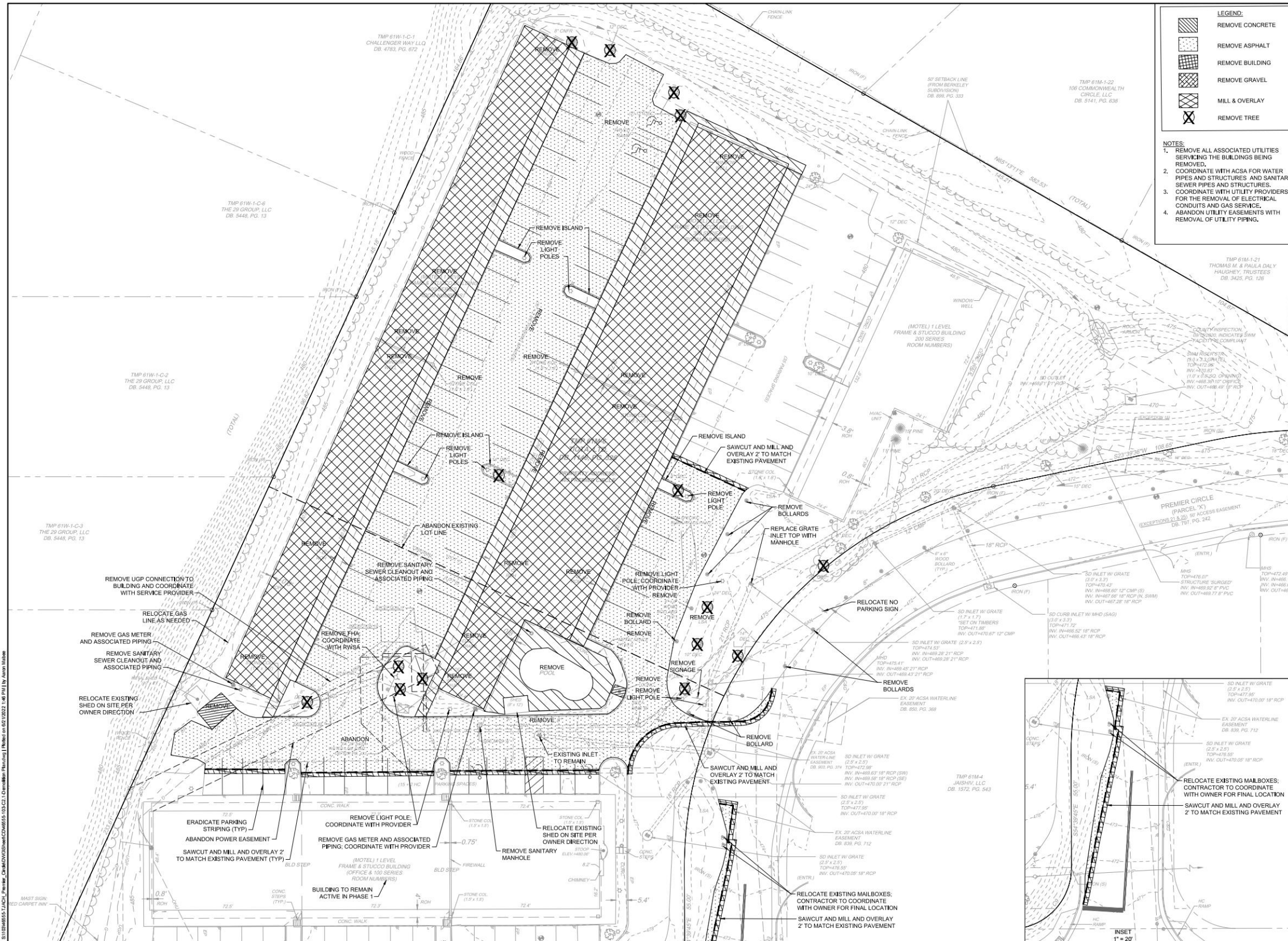
We respectfully ask for the ARB guidance in finding the best possible solution for the building and site's redevelopment in its relation to the Entrance Corridor.

PROJECT NARRATIVE

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022





TIMMONS GROUP
 PREMIER CIRCLE VSH BUILDING (PHASE 1)
 ALBERMARLE COUNTY, VA
 DEMOLITION PLAN

REVISION DESCRIPTION	DATE
INITIAL SITE PLAN REVIEW COMMENTS	6/21/22

YOUR VISION ACHIEVED THROUGH OURS:
 DATE: 6/21/2022
 DRAWN BY: A. MABEE
 DESIGNED BY: J. SHOWALTER
 CHECKED BY: J. SHOWALTER
 SCALE: 1"=20'
 JOB NO.: 46555
 SHEET NO.: C2.1

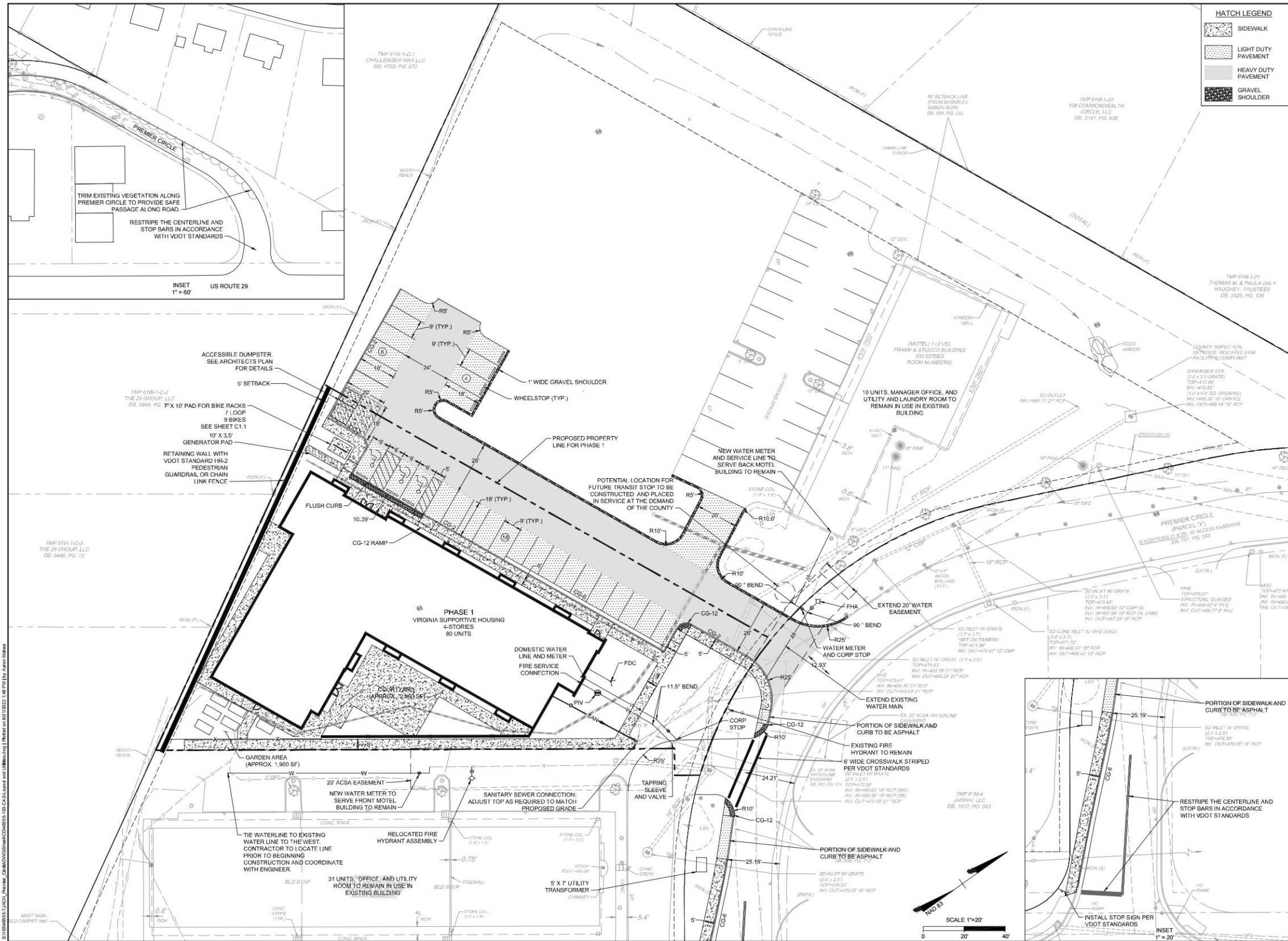
RESPONSE TO COMMENTS

4. **Revise the site plan set to include a phased demolition plan**
 Demolition plan provided to left. This Final Site Plan is being submitted with a demolition plan for this first phase of construction. Future phases will have Final Site Plans with demolition plans. See Final Site Plan.



DEMOLITION PLAN

VSH PREMIER CIRCLE - ARB 2022-29
 June 21, 2022



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YOUR VISION ACHIEVED THROUGH OURS

TIMMONS GROUP

PREMIER CIRCLE VSH BUILDING (PHASE 1)
ALBERMARLE COUNTY, VA

SITE LAYOUT

JOB NO. 46555
SHEET NO. C4.0

REVISION DESCRIPTION	DATE
INITIAL SITE PLAN REVIEW COMMENTS	6/21/22
DATE	6/21/2022
DRAWN BY	A. MABEE
DESIGNED BY	J. SHOWALTER
CHECKED BY	J. SHOWALTER
SCALE	1"=20'

RESPONSE TO COMMENTS

5. **Revise the site plan set to include the limits of work for each phase of the development**
This Final Site Plan is being submitted with for this first phase of construction. Future phases will have Final Site Plans for those phases. See Final Site Plan.

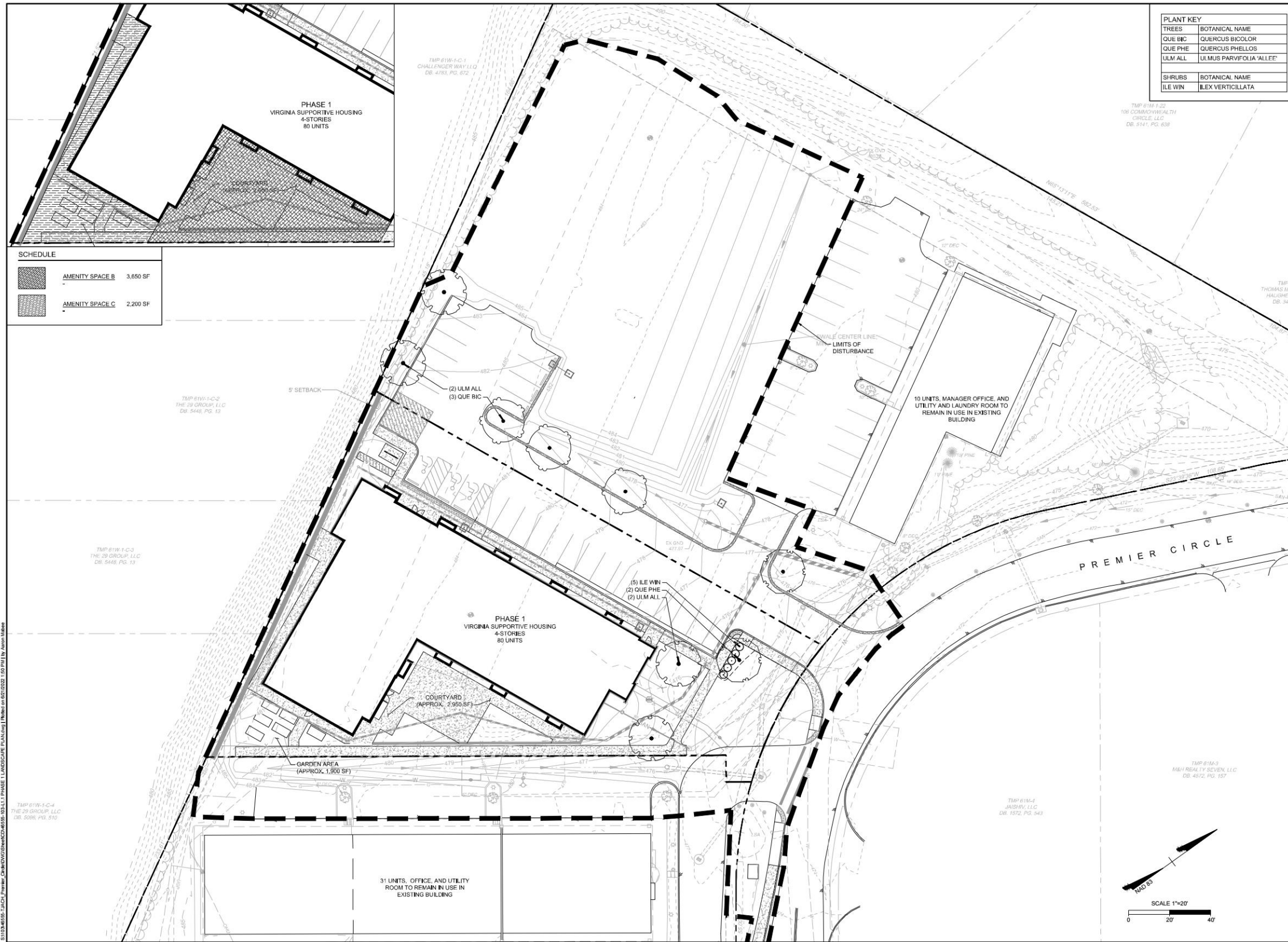
15. **Revise the site plan to show the limits of work for Phase 1 of the development. Show tree protection fencing on, and coordinated throughout, the grading, landscaping, and erosion and sediment control plans where needed.**
Site plan revised to show limits of work for phase 1. See Final Site Plan.



PROPOSED SITE PLAN

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022



PLANT KEY	
TREES	BOTANICAL NAME
QUE BIC	QUERCUS BICOLOR
QUE PHE	QUERCUS PHELLOS
ULM ALL	ULMUS PARVIFOLIA 'ALLEE'
SHRUBS	BOTANICAL NAME
ILE WIN	ILEX VERTICILLATA



SCHEDULE	
	AMENITY SPACE B 3,650 SF
	AMENITY SPACE C 2,200 SF

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REVISION DESCRIPTION	DATE	DATE
INITIAL SITE PLAN REVIEW COMMENTS	6/21/22	03/21/2022

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DRAWN BY M. RACHNER
DESIGNED BY M. RACHNER
CHECKED BY F. HANCOCK
SCALE 1"=20'

TIMMONS GROUP

TJACH PREMIER CIRCLE
ALBEMARLE COUNTY, VA
PHASE 1 LANDSCAPE PLAN

JOB NO. 46555
SHEET NO. L1.1

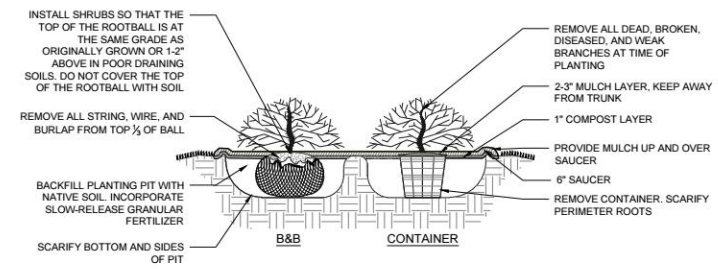
RESPONSE TO COMMENTS

14. Revise the landscape plan to provide additional trees to meet the interior parking area landscaping requirements (one tree for every 10 spaces evenly distributed) Landscape plan revised. Proposed trees meet the landscaping requirements and are located in such a way that they will not be affected by later phases. See Final Site Plan.

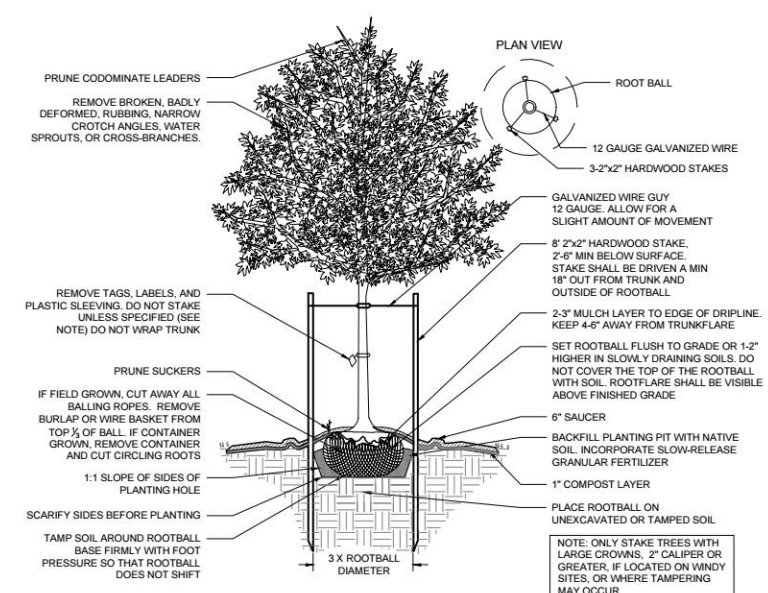


LANDSCAPE PLAN

VSH PREMIER CIRCLE - ARB 2022-29
June 21, 2022



1 SHRUB PLANTING
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED
NOT TO SCALE

PLANT SCHEDULE							
TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	CANOPY	TOTAL
QUE BIC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' CAL.	B&B	338SF	1,017SF
QUE PHE	2	QUERCUS PHELLOS	WILLOW OAK	2.5' CAL.	B&B	419SF	838SF
ULM ALL	4	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	2.5' CAL.	B&B	423SF	1,692SF
							=3,547SF
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT		
ILEX WIN	5	ILEX VERTICILLATA	WINTERBERRY	24" HT. SPRED.	CONTAINER		
							=3,547SF

STREET TREE REQUIREMENTS					
* per Sec. 32.7.9.5 of the Albemarle County Code					
STREET	LENGTH	REQUIREMENTS	CALCULATIONS	REQUIRED	PROVIDED
PREMIER CIRCLE	75.54 LF	1 LG TREE PER 40 LF	75.54/40 = 1.89	2 LG TREES	0 LG TREES

INTERIOR PARKING LOT LANDSCAPE AREA REQUIREMENTS					
* per Sec. 32.7.9.6 of the Albemarle County Code					
PARKING LOT	REQUIREMENT	PARKING LOT AREA	CALCULATIONS	REQUIRED	PROVIDED
PARKING LOT #1	5% GROSS PARKING AREA	12,930 SF	12,930 x .05 = 646.5 SF	647 SF	676 SF

INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS					
* per Sec. 32.7.9.6 of the Albemarle County Code					
PARKING LOT	REQUIREMENT	PARKING LOT SPACES	CALCULATIONS	REQUIRED	PROVIDED
PARKING LOT #1	1 LG. OR 1 MED. SHADE TREE PER 10 PARKING SPACES	28 PARKING SPACES	28/10 = 2.8	3 LG. OR MED. SHADE TREES	3 LARGE SHADE TREES

TREE COVER CALCULATIONS				
* per Sec. 32.7.9.8 of the Albemarle County Code				
SITE AREA	REQUIREMENT	CALCULATION	REQUIRED QUANTITY	PROVIDED QUANTITY
0.73 AC (GROSS SITE AREA)	10% COVER	0.73 AC x .1 = 0.142 AC = 3,177.26 SF	3,178 SF	3,547 SF

NOTE:
-WHERE A PARKING AREA IS LOCATED SO THAT PARKED CARS ARE VISIBLE FROM AN OFF-SITE STREET, SHRUBS ARE TO BE INSTALLED AT A MINIMUM HEIGHT OF 12".
-ALL SITE PLANTINGS OF TREES AND SHRUBS SHALL BE ALLOWED TO REACH, AND BE MAINTAINED AT, MATURE HEIGHT; THE TOPPING OF TREES IS PROHIBITED, SHRUBS AND TREES SHALL BE PRUNED MINIMALLY AND ONLY TO SUPPORT THE OVERALL HEALTH OF THE PLANT.
-DUE TO THE EXISTING AND PROPOSED UTILITIES THE STREET TREE REQUIREMENT FOR PHASE 1 WILL BE MET BY THE FINAL OVERALL CONDITION, SEE SHEET L1.0 AND L2.0.

GENERAL NOTES

- PRE-CONSTRUCTION**
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" AT 1.800.552.7001 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
 - VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
 - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
 - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
 - SOIL TESTS SHALL BE PERFORMED TO DETERMINE SOIL CHARACTER AND QUALITY. NECESSARY SOIL AMENDMENTS SHALL BE PERFORMED PER TEST RESULTS TO ENSURE PLANT HEALTH.
- CONSTRUCTION/INSTALLATION**
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK"
 - LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.
- INSPECTIONS/GUARANTEE**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
 - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
 - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
 - REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



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YOUR VISION ACHIEVED THROUGH OURS:
DATE: 03/21/2022
DRAWN BY: M. RACHNER
DESIGNED BY: M. RACHNER
CHECKED BY: F. HANCOCK
SCALE: N/A

DATE: 03/21/22
REVISION DESCRIPTION: INITIAL SITE PLAN REVIEW COMMENTS

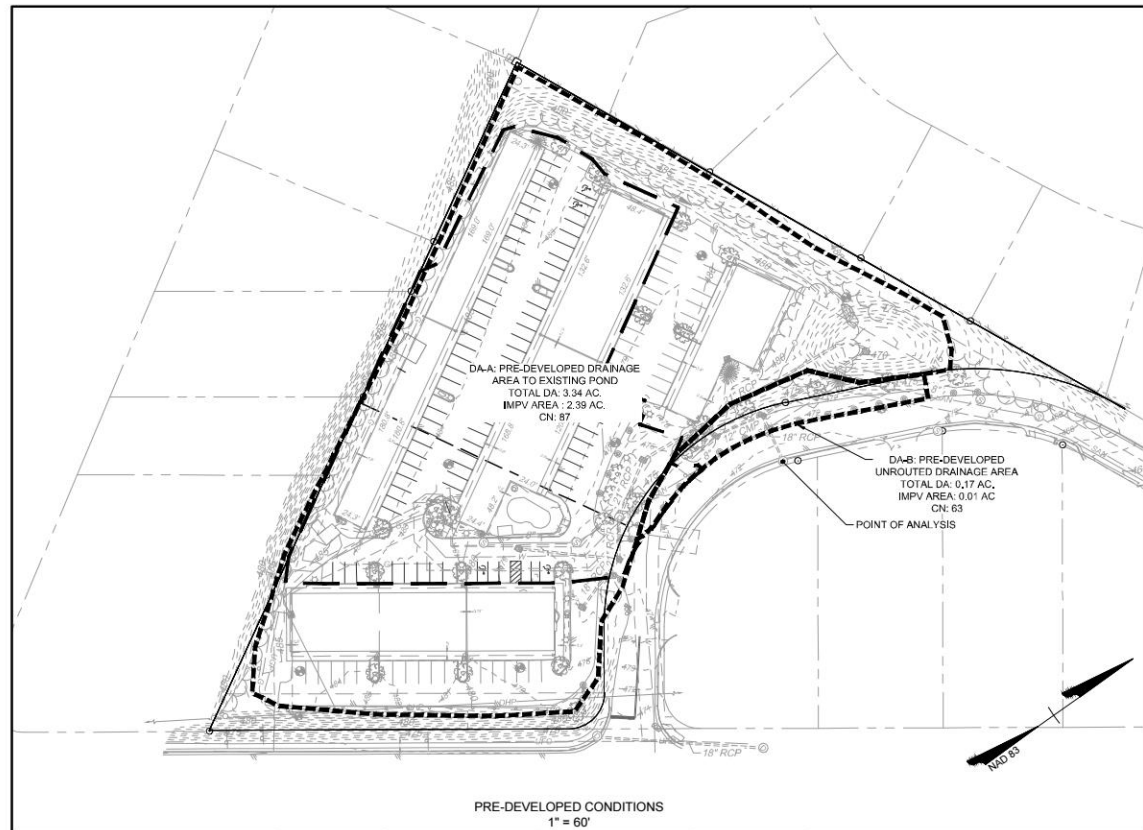
TIMMONS GROUP
ALBEMARLE COUNTY, VA
TJACH PREMIER CIRCLE
PHASE 1 LANDSCAPE NOTES AND DETAILS

JOB NO. 46555
SHEET NO. L2.1

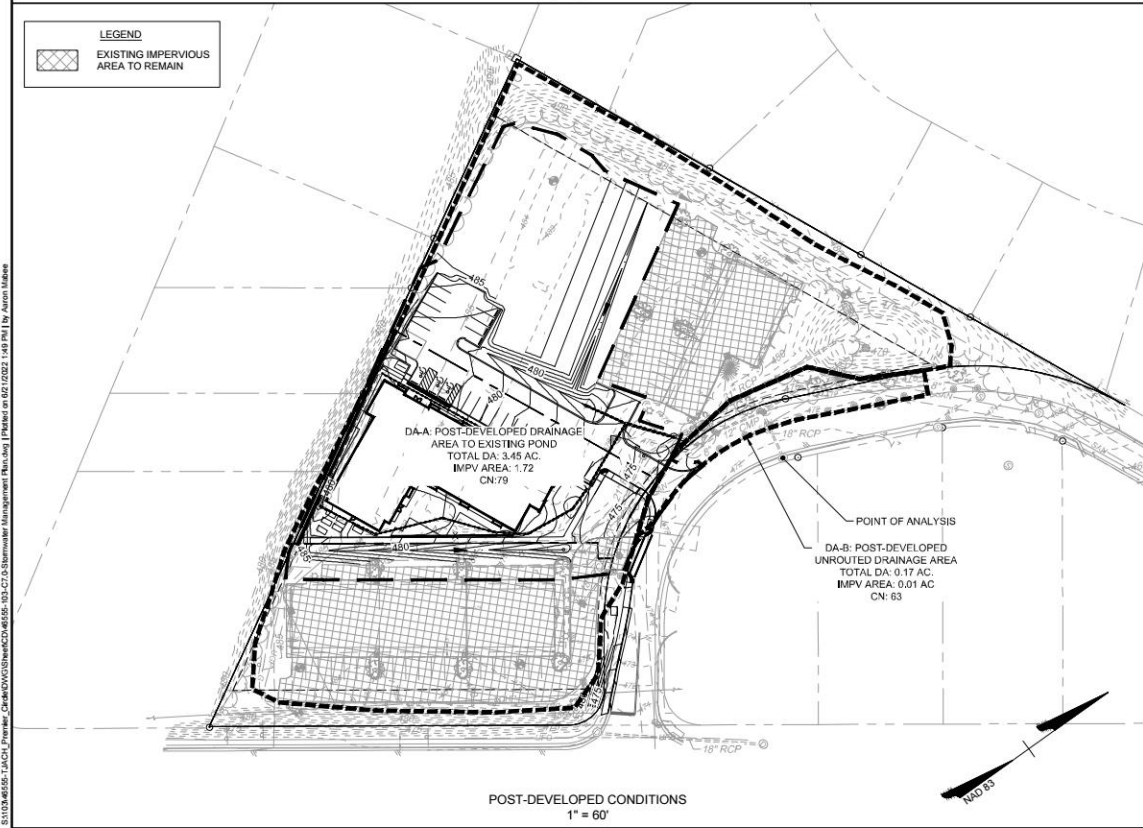
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6/23/2022 10:45:05 AM C:\Users\jra\OneDrive\Documents\46555-001-L2-1\PHASE 1 LANDSCAPE NOTES AND DETAILS.dwg [Printed on 02/22/2022 1:51 PM] by Jason Mabe





PRE-DEVELOPED CONDITIONS
1" = 60'



POST-DEVELOPED CONDITIONS
1" = 60'

WATER QUANTITY CALCULATIONS:

CHANNEL PROTECTION (ENERGY BALANCE):

$$Q_{POST-DEV} TOTAL \leq 0.8 * (Q_{PRE-DEV} OILS + R * V_{PRE-DEV}) / R_{POST-DEV}$$

OK 4.82 CFS \leq 0.8 * (6.77 CFS * 0.459 AC/FT) / 0.321 AC/FT
4.82 CFS \leq 7.74 CFS

FLOOD PROTECTION:

POST-DEVELOPED Q_{15} \leq PRE-DEVELOPED Q_{15}

OK 12.75 CFS (POST-DEVELOPED Q_{15}) \leq 14.46 CFS (PRE-DEVELOPED Q_{15})

STORMWATER QUALITY CALCULATIONS:

SUMMARY FROM RUNOFF REDUCTION SPREAD SHEET FOR REDEVELOPMENT (SEE CALC. BOOK):

DISTURBED AREA: 1.75 ACRES

PRE-DEVELOPMENT LAND COVER:
B SOILS:
0.28 AC TURF
1.47 AC IMPERVIOUS

POST-DEVELOPMENT LAND COVER:
B SOILS:
0.95 AC TURF
0.80 AC IMPERVIOUS

REQUIRED REMOVAL: NO REMOVAL REQUIRED



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DATE	REVISION DESCRIPTION
6/21/22	INITIAL SITE EVAL REVIEW COMMENTS

YOUR VISION ACHIEVED THROUGH OURS:

DATE: 6/21/2022
DRAWN BY: A. MABEE
DESIGNED BY: J. SHOWALTER
CHECKED BY: J. SHOWALTER
SCALE: 1" = 60'

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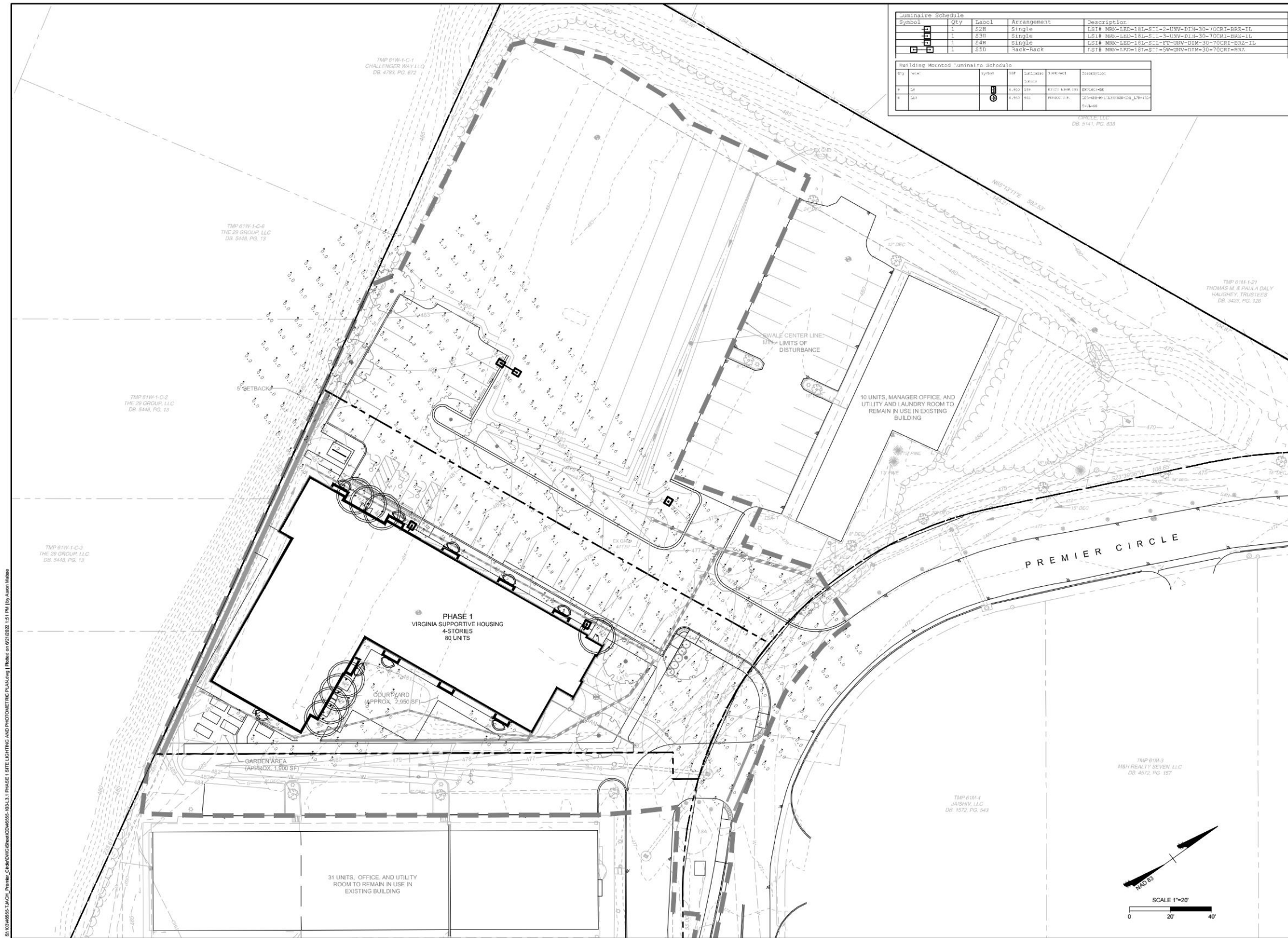
PREMIER CIRCLE VSH BUILDING (PHASE 1)
ALBEMARLE COUNTY, VA

STORMWATER MANAGEMENT PLAN

JOB NO. 46555
SHEET NO. C6.0

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Luminaire Schedule			
Symbol	Qty	Label	Description
[Symbol]	1	S22	Single
[Symbol]	1	S31	Single
[Symbol]	1	S48	Single
[Symbol]	1	S51	Back-Pack

Building Mounted Luminaire Schedule			
Qty	Label	Label	Description
1	S22	100-100	100-100
1	S31	100-100	100-100
1	S48	100-100	100-100
1	S51	100-100	100-100



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YOUR VISION ACHIEVED THROUGH OURS

DATE	REVISION DESCRIPTION
03/21/2022 <td>INITIAL SITE PLAN REVIEW COMMENTS</td>	INITIAL SITE PLAN REVIEW COMMENTS

DATE: 03/21/2022
 DRAWN BY: M. RACHNER
 DESIGNED BY: M. RACHNER
 CHECKED BY: F. HANCOCK
 SCALE: 1"=20'

TIMMONS GROUP
 TJACH PREMIER CIRCLE
 ALBEMARLE COUNTY, VA
 PHASE 1 SITE LIGHTING AND PHOTOMETRIC PLAN

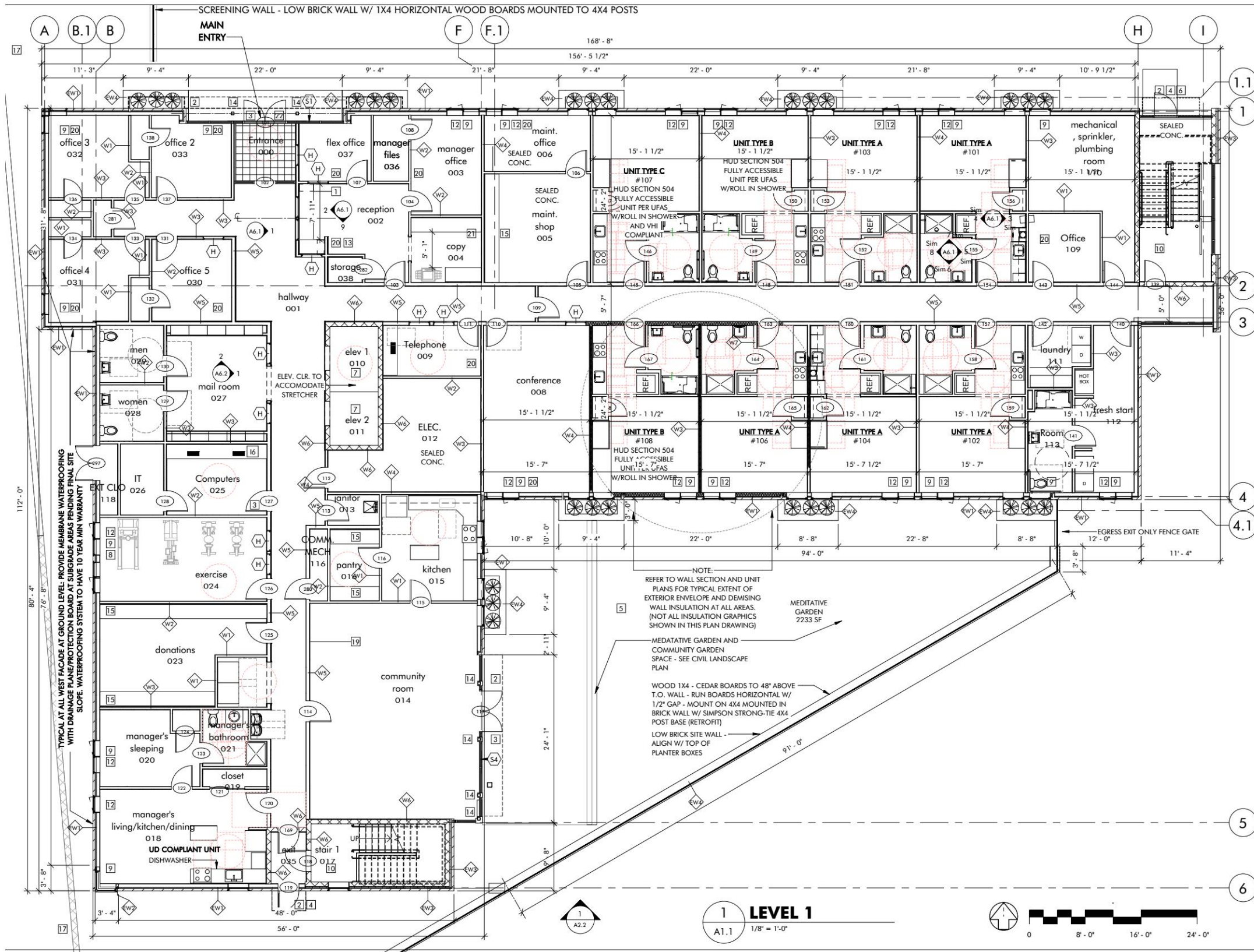
JOB NO.: 46555
 SHEET NO.: L3.1

RESPONSE TO COMMENTS

- 10. Revise the lighting plan to indicate that the plan was calculated using an LLF of 1.0 for all fixtures and revise the photometrics accordingly.
 Lighting plan revised. See Final Site Plan.
- 11. Revise the plan to indicate the fixture heights will not exceed 20' including the base
 Lighting plan revised. Fixture height does not exceed 20' including the base. See Final Site Plan.
- 12. Revise the lighting plan to include fixture locations and illumination values for the wall-mounted lights.
 Lighting plan revised. See L3.1 in the Final Site Plan for fixture locations. See Final Site Plan.
- 13. Add the standard lighting note to the plan "Each outdoor luminaire equipped with a lamp that emits 3,000 or more initial lumens shall be a full cutoff luminaire and shall be arranged or shielded to reflect light away from adjoining residential districts and away from adjacent roads. The spillover of lighting from luminaires onto public roads and property in residential or rural areas zoning districts shall not exceed one half footcandle."
 Lighting plan revised. Note has been added to sheet L3.1 in the Final Site Plan. See Final Site Plan.



LIGHTING PLAN
 VSH PREMIER CIRCLE - ARB 2022-29
 June 21, 2022



BUILDING PLAN

VSH PREMIER CIRCLE

June 21, 2022

RESPONSE TO COMMENTS

2. Consider revising the windows along the south elevation, west of the courtyard area to match the scale of the windows present in the overall building design or otherwise relieve the blankness.

To provide windows along this façade to provide a consistent look is not possible as windows at a consistent head height will interfere with the interior layout, which have bathrooms along this location. The building has been revised to include windows on the north facade, east of the stair as indicated in the perspective rendering to the left.

3. Consider revising the design of the southern portion of the east elevation to add architectural details to relieve the blankness.

To provide windows along this façade to provide a consistent look is not possible as windows at a consistent head height will interfere with the stair landings on the interior. The building has been revised to include windows on the north facade, east of the stair as indicated in the perspective rendering to the left.

9. Add the standard mechanical equipment note to the architectural plans: "Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated." See note below.



EXISTING PERSPECTIVE

PERSPECTIVE RENDER

PERSPECTIVE - LOOKING SOUTH FROM RT.29

NOTE:
VISIBILITY OF ALL MECHANICAL
EQUIPMENT FROM THE ENTRANCE
CORRIDOR SHALL BE ELIMINATED

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022





EXISTING PERSPECTIVE



PERSPECTIVE RENDER

RESPONSE TO COMMENTS

2.
 Consider revising the windows along the south elevation, west of the courtyard area to match the scale of the windows present in the overall building design or otherwise relieve the blankness.

To provide windows along this façade to provide a consistent look is not possible as windows at a consistent head height will interfere with the interior layout, which have bathrooms along this location. The building has been revised to include windows on the north facade, east of the stair as indicated in the perspective rendering to the left.

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9.
 Add the standard mechanical equipment note to the architectural plans: "Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated."
 See note below.



NOTE:
 VISIBILITY OF ALL MECHANICAL EQUIPMENT FROM THE ENTRANCE CORRIDOR SHALL BE ELIMINATED

PERSPECTIVE - LOOKING WEST FROM RT.29

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022



EXISTING PERSPECTIVE



PERSPECTIVE RENDER

PERSPECTIVE - LOOKING NORTH FROM RT.29

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022



NOTE:
VISIBILITY OF ALL MECHANICAL
EQUIPMENT FROM THE ENTRANCE
CORRIDOR SHALL BE ELIMINATED

RESPONSE TO COMMENTS

7. Confirm that the visibility of roof-mounted mechanical equipment has been considered in the perspective drawings.

In the renders to the right, the mechanical equipment and elevator tower do not appear until the view is taken from 21' above the ground and higher. See page 13 for more details regarding the roof plan.

8. Revise the architectural drawings to show the finish (material, color, detailing) of the elevator tower and show the tower in the perspective drawings.

In the renders to the right, the elevator tower is rendered in the proposed finish and detailing - it will match the roofing material, a membrane roof that will not be visible from the E.C. See page 12 and 13 for more details.

9. Add the standard mechanical equipment note to the architectural plans: "Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated."

See note below. See page 13 for more details regarding the roof plan.



PERSPECTIVE RENDER - REAR - NOT VISIBLE FROM E.C.



PERSPECTIVE RENDER - REAR - NOT VISIBLE FROM E.C.



21 FEET ABOVE ROUTE 29 SOUTH



PERSPECTIVE RENDER - PARTLY VISIBLE FROM E.C.



FROM PREMIER CIRCLE

ELEVATOR TOWER AND MECHANICAL

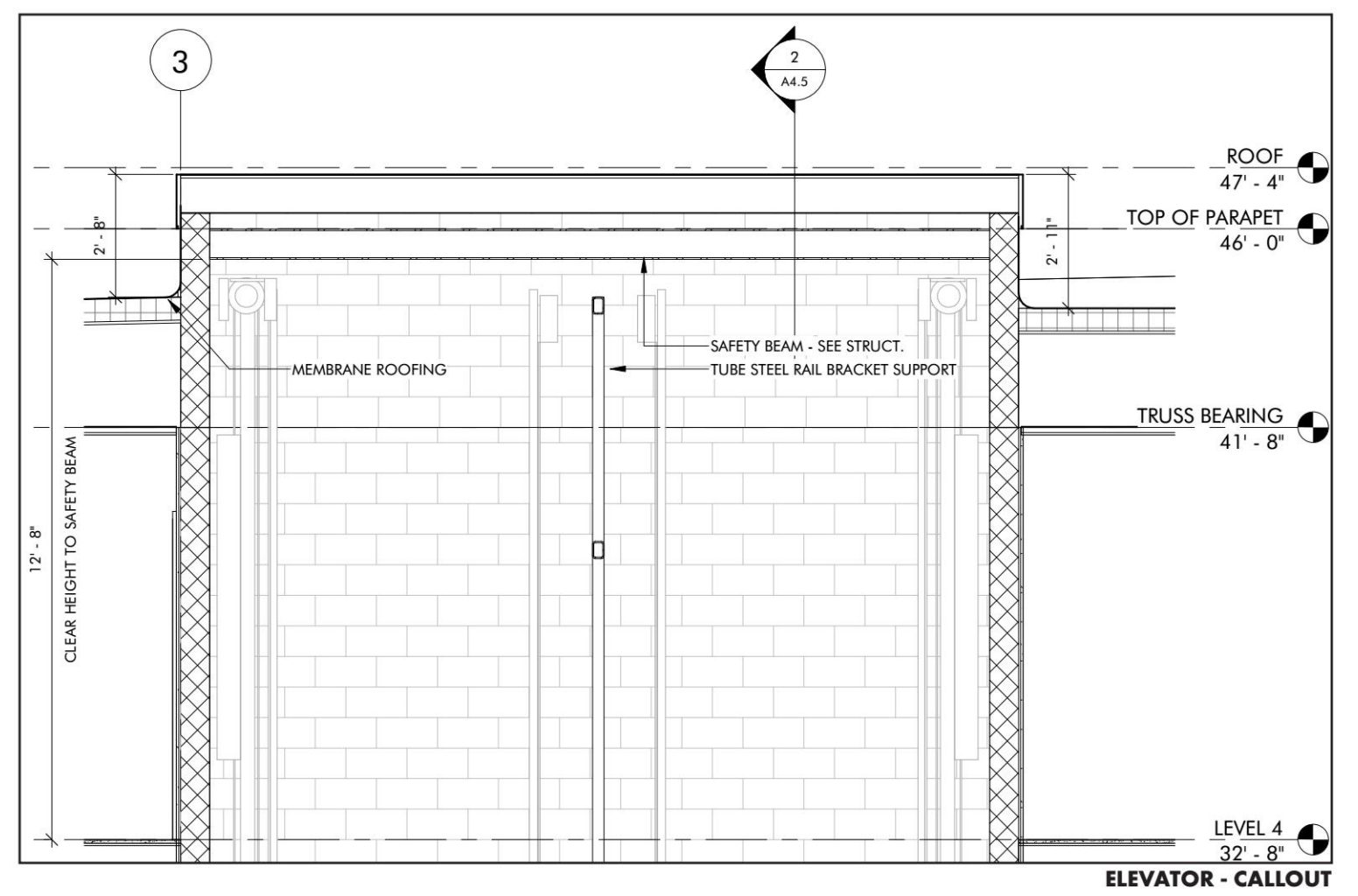
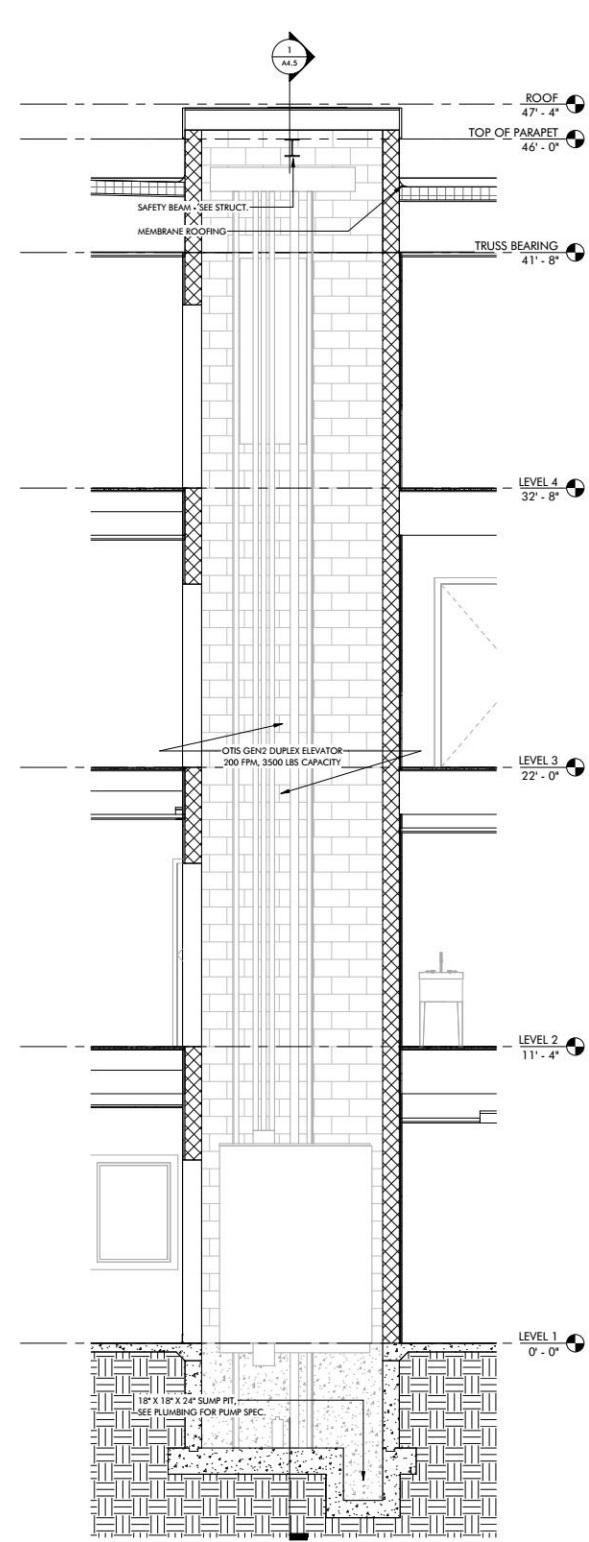
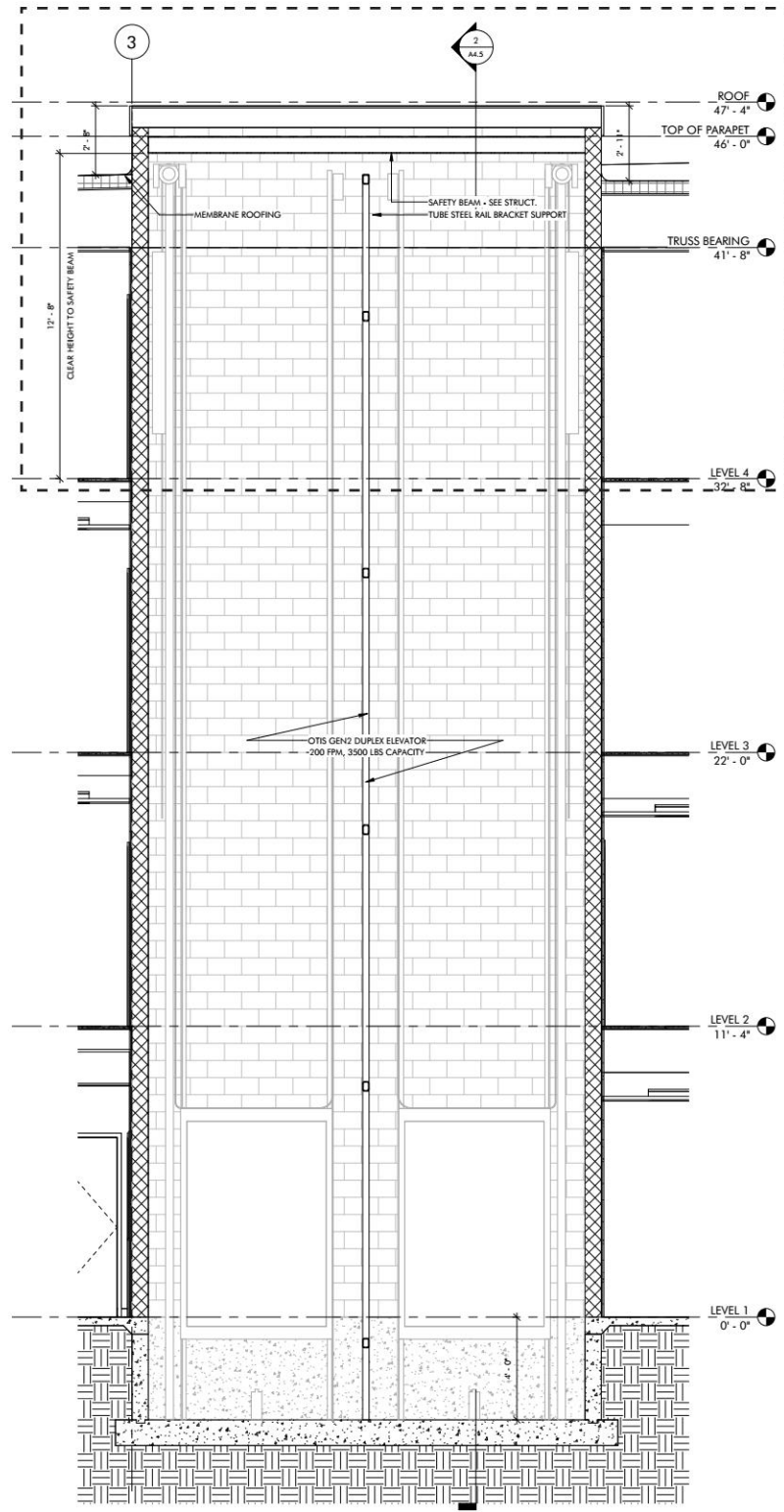
VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022



NOTE:
VISIBILITY OF ALL MECHANICAL EQUIPMENT FROM THE ENTRANCE CORRIDOR SHALL BE ELIMINATED

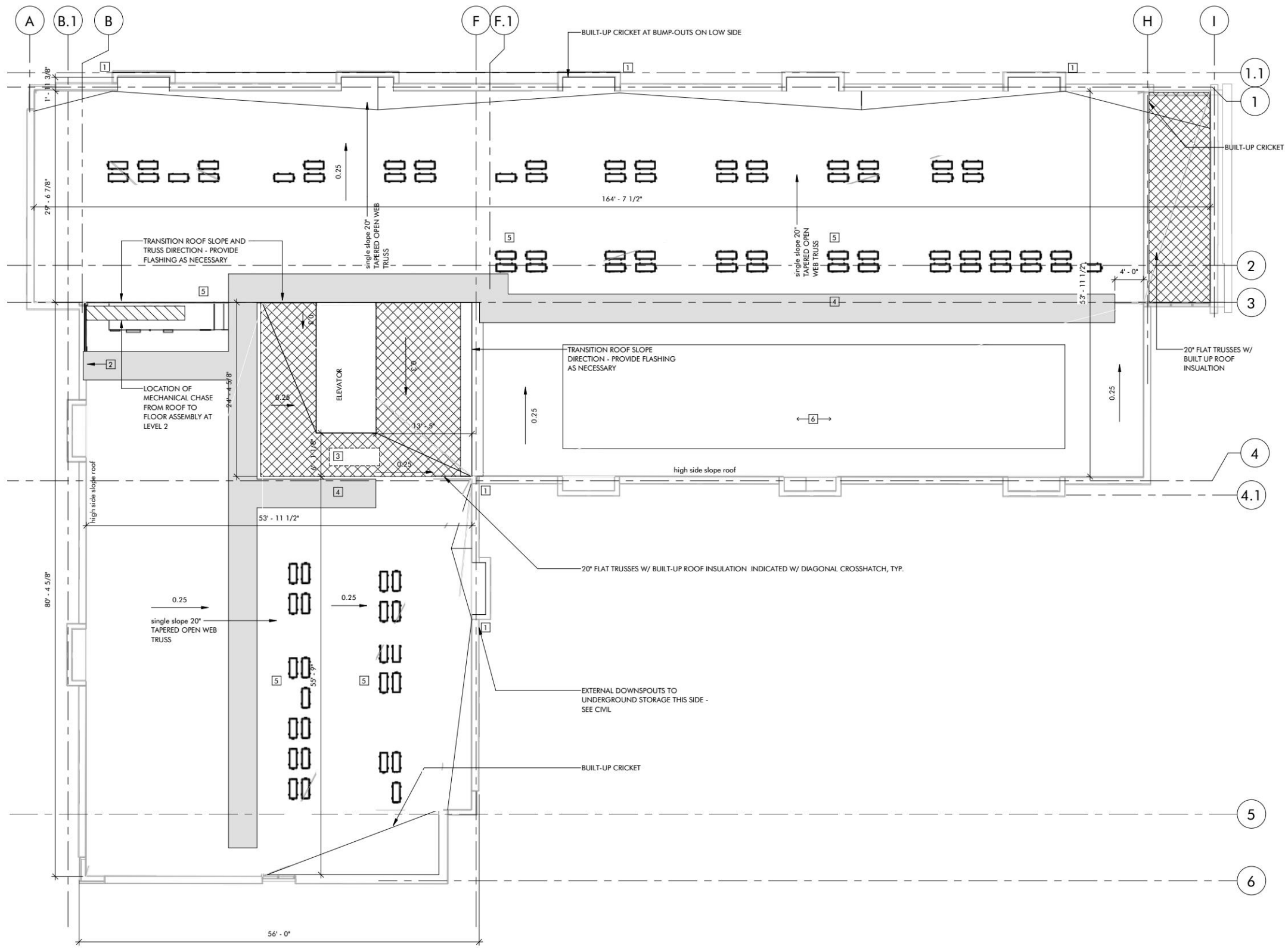
item 8: ELEVATOR TOWER VISIBILITY AND MATERIAL



ELEVATOR SECTION

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022



ROOF PLAN KEYED NOTES:

- 1 DOWNSPOUT LOCATION - SEE CIVIL
- 2 RAILING @ D.O.A.S. ROOF UNIT - SEE MECH
- 3 ROOF ACCESS HACH - 30"X84" MIN
- 4 WALK PAD
- 5 ROOF TOP MECH UNITS - SEE MECH.
- 6 PROPOSED AREA FOR FUTURE PV APPLYS
- 7 VISIBILITY OF ALL MECHANICAL EQUIPMENT FROM THE ENTRANCE CORRIDOR SHALL BE ELIMINATED



ROOF PLAN

VSH PREMIER CIRCLE - ARB 2022-29

June 21, 2022

RESPONSE TO COMMENTS

6. Revise the architectural drawings to note conformity with the updated window glass specifications. The updated specifications are visible light transmittance (VLT) shall not drop below 40%. Visible light reflectance (VLR) shall not exceed 30%.

See note below.

9. Add the standard mechanical equipment note to the architectural plans: "Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated."

See note below.



ELEVATION - FROM THE NORTH (FROM PREMIER CIRCLE) - PARTLY VISIBLE FROM E.C.

Scale: 1/16" = 1'-0"



ELEVATION - FROM THE EAST (FROM ROUTE 29) - PARTLY VISIBLE FROM E.C.

Scale: 1/16" = 1'-0"

GLAZING REQUIREMENTS
 VISIBLE LIGHT TRANSMITTANCE \geq 40%
 VISIBLE LIGHT REFLECTANCE \leq 30%

NOTE:

VISIBILITY OF ALL MECHANICAL EQUIPMENT FROM THE ENTRANCE CORRIDOR SHALL BE ELIMINATED

MATERIAL PALETTE



BR-1: Brick: Triangle Brick (Merry Oaks Modular),
 Color: Dover White (>80%)
 Mortar Color: Workrite WRA280 (glacier)



M-1: Architectural Brakemetal RRM:
 Western Stetes Metal or similar,
 Color: Dark Bronze



SF-1: Storefront: FiberFrame 3000 storefront, Black Magic Galzing: Viracon to meet transmittance and reflectance requirements: VNE 13-53, Color: Starphire



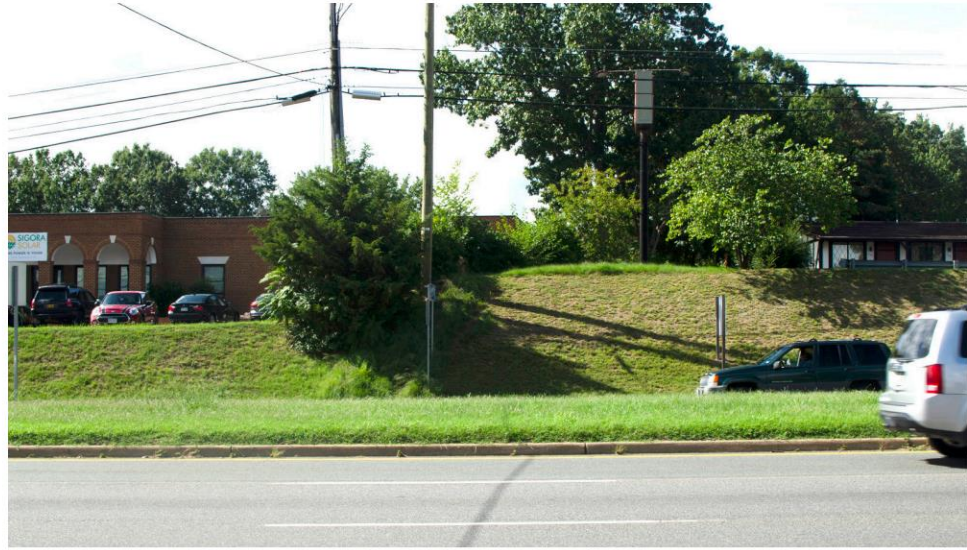
W-1: Windows: Pella 250 Vinyl,
 Color: Black

NEW - ELEVATIONS

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COMPATIBILITY WITH ENTRANCE CORRIDOR GUIDELINES

- **STRUCTURE DESIGN**
 - Building form and features relate to multiple scales of the site - the E.C. and the pedestrian on site - by breaking down the meter through facade variation and breaking down the overall mass of the building through building shape.
 - Care has been taken in siting the building to allow for accessible site circulation, conform to existing site development patterns, and provide for pedestrian and vehicular connections and circulation per the site's anticipated build out.
- **ACCESSORY STRUCTURES AND EQUIPMENT**
 - Rendered studies along the E.C. indicate that proposed mechanical equipment on the building's roof will not be visible at the typical height of a vehicle or pedestrian north or southbound along route 29.
 - All utility transformers and refuse will be located on the opposite side of the E.C.
 - The community meditative garden and plaza in the 'crook' of the I-shaped building

will require a continuous fence per the building regulations for Virginia Supportive Housing to allow residents to fluidly move from indoors to garden and back. This fence will be see-through and will be softened by a brick seat wall to match the building brick. The fence is not visible from the E.C. due to existing grade and existing (and possibly also proposed future) building on the parcel directly along the E.C.

- **LIGHTING**
 - All lighting on site for parking, pedestrian walkways, and decorative landscape lighting will comply with Entrance Corridor Guidelines, using LLF of 1.0 for all fixtures.
- **LANDSCAPING**
 - This project will provide all required landscaping along project specific interior roads such as the new parking access road, pedestrian walkways, parking area, and will provide all required landscaping along the building.
 - Specifically, a meditative garden and community garden space as well as a patio and planting areas are integral components of the building design and are designed by a landscape architect.
 - A landscaping contractor will oversee and maintain these gardens and planting beds.
- **DEVELOPMENT PATTERN**
 - The building and site plan for the project are organized to provide ease of travel on and off site within the existing context and in planning for future building on the site.
 - Similarly, the building and site plan allow the possibility of future pedestrian connections to the southern-most adjacent parcel(s) and, therefore, the nearest existing bus stop, to the south.
 - Pedestrian walkways are also designed to provide access to proposed garden space, parking, and the potential future bus stop along Premier Circle.
- **GRADING**
 - This project will comply with Universal Design standards for accessibility. Therefore, the site circulation is no different. This is yet another piece of the design that has contributed to careful site placement to minimize grading while allowing all walkways to comply with accessibility standards.
 - Furthermore, the surrounding existing buildings on site will remain in use during and after construction and place further limits on site grading.
 - An existing berm along the southwest property line of the site may require a retaining wall, however, the applicant hopes to obtain a grading easement to eliminate this wall. If the wall must remain, it will not be visible from the E.C. Negotiations between property owners to initiate easement are underway.



COMPATIBILITY WITH E.C. GUIDELINES

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APPENDIX



EXISTING PERSPECTIVE



PERSPECTIVE RENDER

PERSPECTIVE - LOOKING NORTH FROM RT.29 - FUTURE MAXIMUM BUILD-OUT

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