

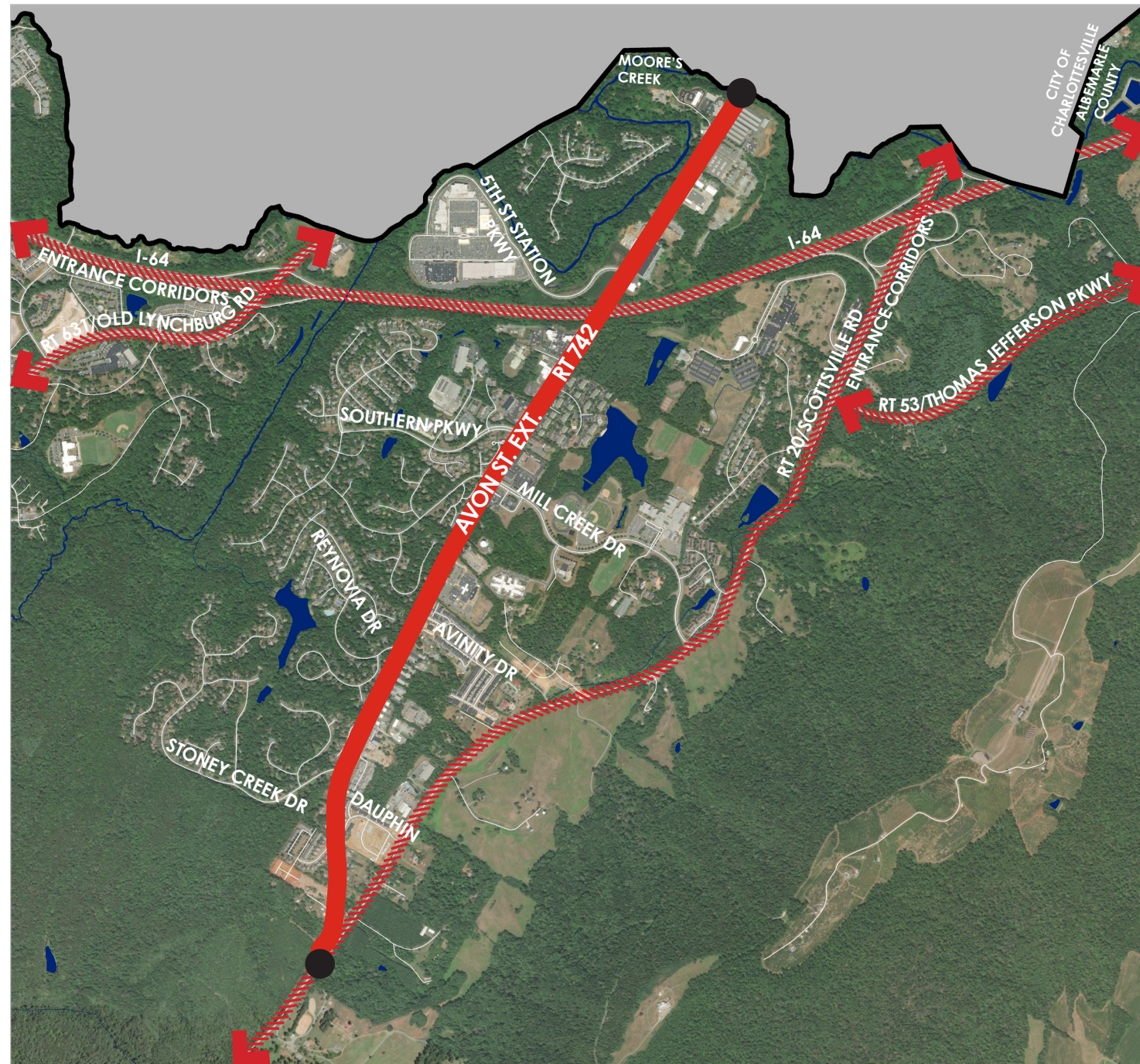
# Entrance Corridor // Route 742 (Avon St. Ext.)

From Rt. 20 to the south to the City line at Moore's Creek to the north

DRAFT



Last updated: 03.15.2023



LENGTH: 2.7 MILES

## HISTORY

A route approximating that of today's Avon Street Extended appears on 19th century maps of the County. As late as 1966, the route looped west around Hartmann's Mill before crossing Moore's Creek to enter the City of Charlottesville where it merged with 6th Street. By the mid-1970s, the path was straightened and joined with the through-street located east of 6th (called Monticello Ave. at that time), making Avon Street the primary southern route out of town.

## GENERAL CHARACTERISTICS OF PROGRESSION

Mountain views are available to the east from the southern end of this corridor to the intersection of Southern Parkway. At the Parkway, distant mountain views become available to the west, then diminish approaching the I-64 overpass where roadside berms and landscaping obscure the view. Development at the southern end of the corridor is predominantly small-scale, mid-20th-century single-family residences and their outbuildings on lawns with shade trees. In more recent residential developments, such as Avon Park and Spring Hill Village, larger homes are located on smaller lots. North of Spring Hill Village, development transitions to a mix of uses including light industrial, commercial/retail, and institutional on the east side of the street, with more traditional suburban 1980-90s residential development patterns (Mill Creek and Lake Reynovia) on the west. Landscaped frontages are typical in this area. As the corridor progresses north, newer residential developments reflect more dense development patterns (Avinity). North of the I-64 overpass, development along the corridor is generally comprised of larger footprint industrial, commercial, and office buildings. Moore's Creek marks the City/County boundary and more dense residential development.

## ZONING & LAND USE

South of the Interstate is mostly a mix of residential districts with pocketed areas of Light Industry (towards the south) and Planned Development Shopping Center (near Mill Creek Dr). North of the Interstate, zoning along Avon St. Ext. is primarily Light Industry, although a few commercially zoned properties are also present. This mix of zoning and land use results in a corridor with a wide variety of building types and frontage conditions.

## STRUCTURES - PREDOMINANT FEATURES

- Form/Scale: Traditional residential forms with rectangular footprints and gabled or hipped roofs; small to large scale; Institutional, commercial, and industrial forms with larger rectangular footprints and flat roofs
- Materials: Brick, stone, siding
- Colors: Red, tan, brown, white, gray

## LANDSCAPE - PREDOMINANT FEATURES / ELEMENTS OF ORDERLY AND ATTRACTIVE DEVELOPMENT

- Regularly spaced street trees; shrubs contribute to screening of parking areas
- Densely planted trees for buffering

## CHARACTERISTICS TO AVOID

- Blocked mountain views
- Lack of frontage planting

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## PRECEDENT IMAGES

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1545 Avon St.

Trees and shrubs on berms soften the impact of parking lots on the EC street.

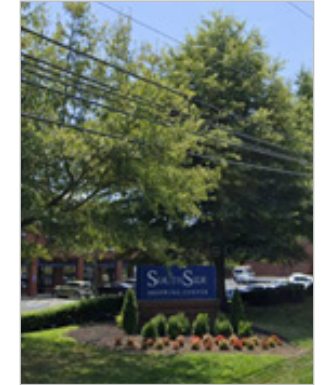


105-125 Wood Duck Pl.



Vicinity of 1729 Avon St.

Wooded borders buffer long portions of this corridor.



Many signs along this corridor incorporate masonry into their structure and use landscaping to integrate the structure into the streetscape.



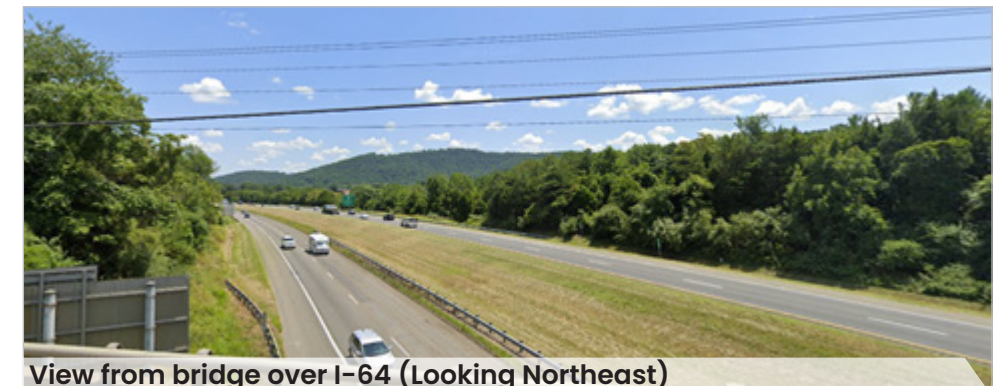
1757 Avon St. Ext.

Carter's Mountain provides a green backdrop for Mountain View School.



32-34 Mill Creek Dr

A view of Carter's Mountain is available north of Millcreek Dr.



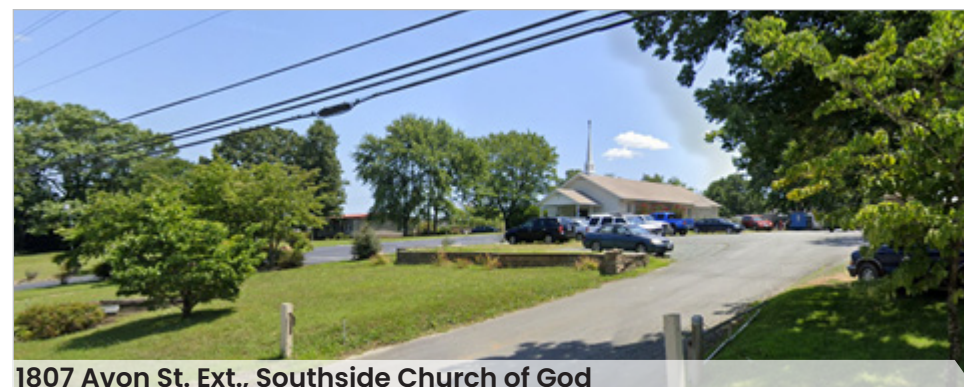
View from bridge over I-64 (Looking Northeast)

A view towards Carter's and Monticello Mountains are available from the bridge over the Interstate.



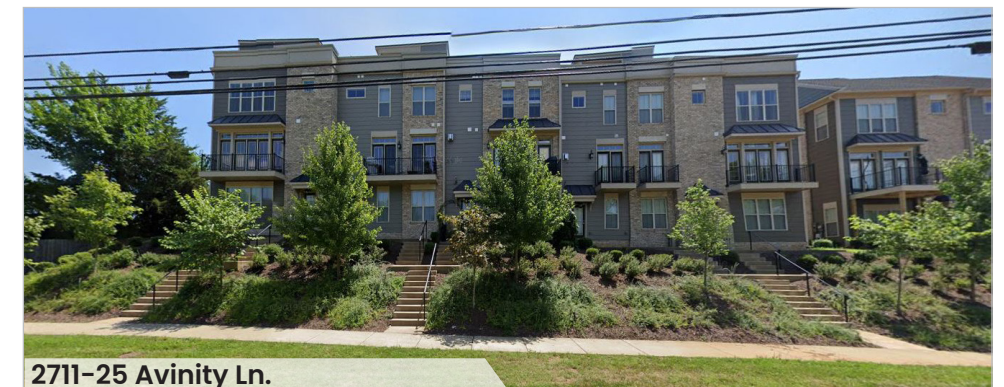
Intersection of Southern Pkwy.

A distant mountain view to the west is available at the Southern Parkway intersection.



1807 Avon St. Ext., Southside Church of God

Many of the 20th-century residential, institutional, and industrial buildings along the corridor have simple rectangular footprints and gabled or hipped roofs.



2711-25 Avinity Ln.

Terraced, landscaped yards provide a pedestrian-friendly transition from the sidewalk to these townhomes.