

ARCHITECTURAL REVIEW BOARD STAFF REPORT

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| Project #/Name | ARB-2023-86: Old Ivy Residences Initial Site Plan |
| Review Type | Initial Site Development Plan |
| Parcel Identification | 06000-00-00-024C0, 06000-00-00-024C1, 06000-00-00-024C3, 06000-00-00-024C4, 06000-00-00-05100 |
| Location | 2441 Old Ivy Road, Charlottesville, VA and undeveloped land to the west and north (see Figure 1) |
| Zoned | Residential (R15), Entrance Corridor (EC). Site is subject to the proffers and general development plan of ZMA202100008. |
| Owner/Applicant | The Filthy Beast LLC, Father Goose LLC, and Beyer Family Investment Partnership L.P. / Dewberry (Pat Hill) |
| Magisterial District | Jack Jouett |
| Proposal | Request for initial site plan approval for a residential development consisting of 525 dwelling units on 35.37 acres, for a gross residential density of 14.8 units/acre. Dwelling units include a mixture of multifamily units, townhomes, and single-family detached residences with associated site improvements. |
| Context | The subject property is predominately comprised of undeveloped land, consisting of wooded and cleared areas as well as a pond. A 2-story Colonial Revival residence, built ca. 1937, and associated outbuildings are located near the southeastern edge of the subject property. East of the site are the Huntington Village townhouse community and the University Village condominiums. South of the site, across Old Ivy Rd., are large printing, storage, and distribution buildings that support the University of Virginia. The Rt. 29/250 Bypass and on-ramp are located west of the site, and additional undeveloped, wooded land is located north of the site. |
| Visibility | It is anticipated that portions of the development will be visible from the Entrance Corridor. Berms and trees in the right-of-way and wooded area to remain on site will help limit views. Proposed tree removal and varying topography will contribute to available views. |
| ARB Meeting Date | November 6, 2023 |
| Staff Contact | Mariah Gleason |

PROJECT HISTORY

The subject property was rezoned to R15 Residential (allowing 15 units/acre) on March 1, 2023, by the Board of Supervisors (BOS). During the review of the rezoning, staff provided comments on potential impacts to the Entrance Corridor, including concerns regarding: (1) The layout of the development, with buildings not oriented parallel to the EC and with their backs to the EC street, (2) The severity of the proposed grading, noting that the rolling terrain that is typical of the area is not being preserved and that a continuous landscape would not be created, and (3) The mixture of unit types which, while desirable, did not appear to support comfortable transitions between differing types. The BOS approval included proffers and a concept plan, in addition to a request to rezone preserved steep slopes to managed slopes, a stepback waiver, and a parking reduction. The initial site plan submitted by the applicant aligns with the approved concept plan.

After the initial site plan submitted was made, staff meet with the applicant twice to discuss visibility and future submittals.



Figure 1: Project Location (shown bound in red).

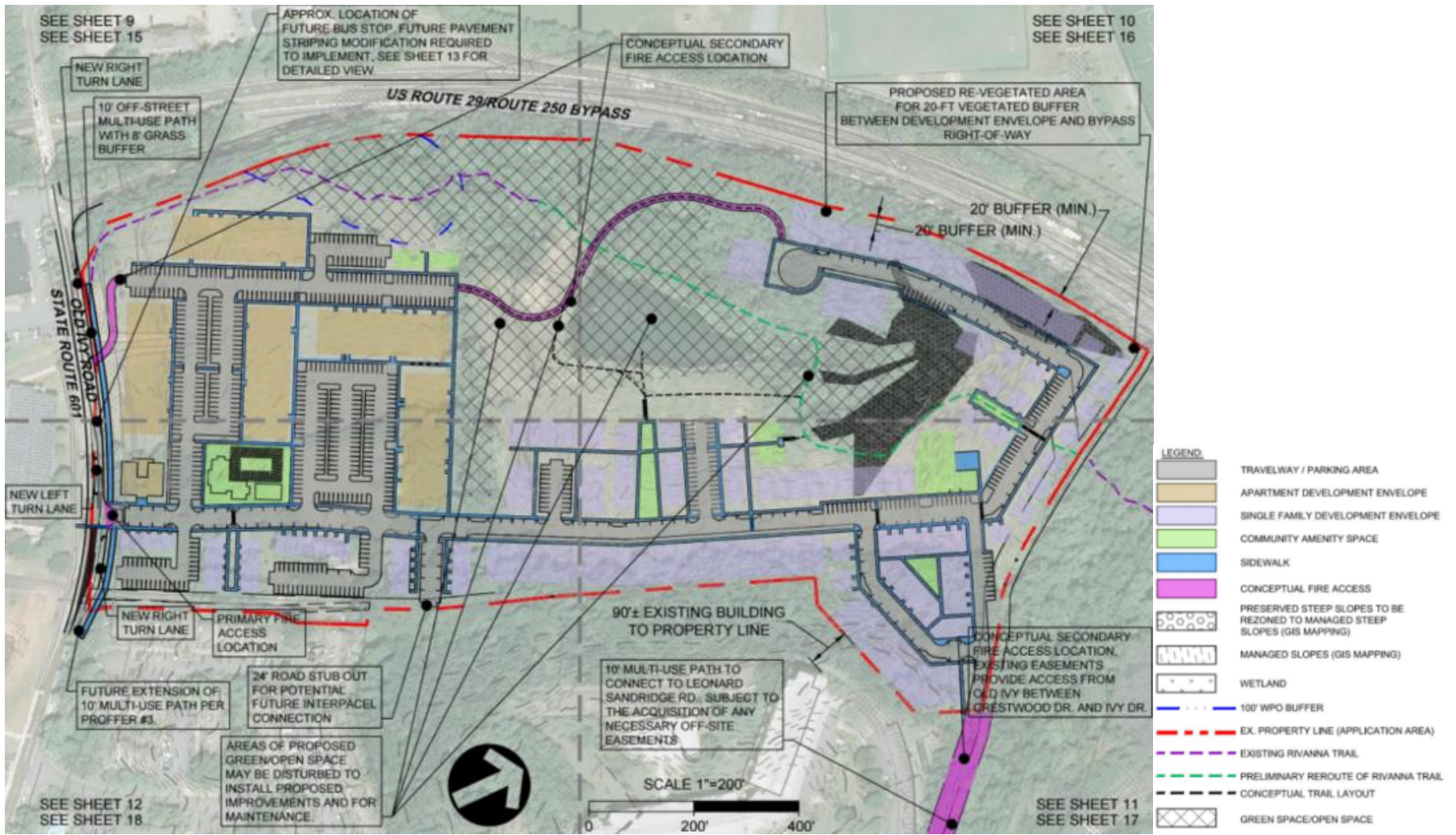


Figure 2: The proposed layout aligns with the concept plan approved under ZMA202100008. Site map from concept plan shown above.

ANALYSIS

Gray highlight = means the guideline can't be reviewed at initial site plan stage, but recommendations can be provided for final

Yellow highlight = means the guideline can only be reviewed for location/configuration at the initial plan stage, and location/configuration can be made a condition of initial plan approval, and can be the basis for denial

Regular text = means the guideline can be reviewed at initial plan stage, can be made a condition of initial plan approval, and can be the basis for denial

| REF | GUIDELINE | ISSUE | RECOMMENDATION |
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| | GENERAL GUIDELINES | | |
| | <i>Purpose, Compatibility with significant historic sites</i> | | |
| 1 | The goal of the regulation of the design of development within the designated Entrance Corridors is to insure that new development within the corridors reflects the traditional architecture of the area. Therefore, it is the purpose of ARB review and of these Guidelines, that proposed development within the designated Entrance Corridors reflect elements of design characteristic of the significant historical landmarks, buildings, and structures of the Charlottesville and Albemarle area, and to promote orderly and attractive development within these corridors. Applicants should note that replication of historic structures is neither required nor desired. | As noted during the rezoning process, the development is not organized into a predictable pattern. Townhouses are located in 3-4 pockets of the development, apartment buildings are oriented towards separate parking areas, and most buildings are oriented with their fronts away from the EC. The result may be a development with a disorderly appearance from the EC street. However, the impact on the EC may be reduced by wooded areas to remain, proposed landscaping, existing topography, and proposed grading. More information is needed to confirm which portions of the site and structures will be visible from the EC and their degree of visibility. | Provide architectural designs and a landscape plan with future submittals. The architectural designs should demonstrate how design elements that are characteristic of the corridor and larger regional context will be integrated into the development and how landscaping, architectural details, and/or design features will create a sense of unity and cohesiveness throughout the development. |
| 2 | Visitors to the significant historical sites in the Charlottesville and Albemarle area experience these sites as ensembles of buildings, land, and vegetation. In order to accomplish the integration of buildings, land, and vegetation characteristic of these sites, the Guidelines require attention to four primary factors: compatibility with significant historic sites in the area; the character of the Entrance Corridor; site development and layout; and landscaping. | Additionally, architectural designs were not provided with the initial site plan. It is not clear at this time how landscaping, architectural details, and/or design features will be used to create a sense of unity and cohesiveness throughout the development or how compatibility with historic sites will be established. Single-family detached units are proposed in multiple locations throughout the site. Although it is convenient to include them on the site plan, they are not subject to EC requirements. | If the single-family detached units will be on individual parcels, note that they are being shown on the plan for information only and add a line that defines the area associated with the single-family detached units. |
| 3 | New structures and substantial additions to existing structures should respect the traditions of the architecture of historically significant | | Provide site sections to clarify which areas of the |

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| | buildings in the Charlottesville and Albemarle area. Photographs of historic buildings in the area, as well as drawings of architectural features, which provide important examples of this tradition are contained in Appendix A. | | development will be visible from the EC. |
| 4 | The examples contained in Appendix A should be used as a guide for building design: the standard of compatibility with the area's historic structures is not intended to impose a rigid design solution for new development. Replication of the design of the important historic sites in the area is neither intended nor desired. The Guideline's standard of compatibility can be met through building scale, materials, and forms which may be embodied in architecture which is contemporary as well as traditional. The Guidelines allow individuality in design to accommodate varying tastes as well as special functional requirements. | | |
| | <i>Compatibility with the character of the Entrance Corridor</i> | | |
| 5 | It is also an important objective of the Guidelines to establish a pattern of compatible architectural characteristics throughout the Entrance Corridor in order to achieve unity and coherence. Building designs should demonstrate sensitivity to other nearby structures within the Entrance Corridor. Where a designated corridor is substantially developed, these Guidelines require striking a careful balance between harmonizing new development with the existing character of the corridor and achieving compatibility with the significant historic sites in the area. | <p>Architectural designs were not provided with the initial site plan.</p> <p>Buildings around the subject property demonstrate a range of forms and scales. Building forms are generally rectangular but scales range from large format single-story printing, storage, and distribution centers, to 2- and 3-story attached townhomes, and 6-story condominium buildings. Across the EC, the St. Anne's-Belfield private school is developed as a campus, with large academic buildings clustered together, encircled by recreation and athletic facilities. Many surrounding developments use brick as part of the material palette.</p> | None at this time. |
| | <i>Site development and layout; Site Grading</i> | | |
| 6 | Site development should be sensitive to the existing natural landscape and should contribute to the creation of an organized development plan. | The concept plan approved with the rezoning included a conceptual grading plan. ARB staff comments during the rezoning noted that "the proposed grading | Revise retaining walls visible from the EC to not exceed 6 feet in height. |

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| | <p>This may be accomplished, to the extent practical, by preserving the trees and rolling terrain typical of the area; planting new trees along streets and pedestrian ways and choosing species that reflect native forest elements; insuring that any grading will blend into the surrounding topography thereby creating a continuous landscape; preserving, to the extent practical, existing significant river and stream valleys which may be located on the site and integrating these features into the design of surrounding development; and limiting the building mass and height to a scale that does not overpower the natural settings of the site, or the Entrance Corridor.</p> | <p>is severe, suggesting that the rolling terrain that is typical of the area is not being preserved and that a continuous landscape will not be created” and recommended a layout that required less severe grading. Generally, the grading plan that was approved with the rezoning allows grading that would not typically be encouraged and, as a result, facilitates the placement and positioning of buildings that do not fully align with the EC guidelines.</p> <p>While some details of the conceptual grading plan have been improved to show greater consistency with the EC guidelines, others may intensify impacts on the EC. One improvement in the initial site plan is the ties to existing contours that are more rounded than was previously shown. However, proposed retaining wall heights now reach a maximum of 10 feet compared to the 6 feet shown in the conceptual plan. The 10-foot walls are not terraced, and the plan does not demonstrate that they will be planted as prescribed by the EC guidelines.</p> <p>Overall, the combination of grading and retaining wall heights, lengths, and locations (10 feet high, 100-570 feet in length, and positioned along the edges of the subject property), show that the property will be disconnected from surrounding topography and unsupportive of a continuous landscape.</p> <p>The Rt. 29/250 Bypass is characterized by dense wooded buffers that limit views to buildings on both sides of the roadway. The right-of-way (ROW) along the subject property contains existing wooded areas and screening topography. Wooded areas are 20-90 feet deep with the narrowest areas towards the northern property corner and widest areas at the EC on-ramp entrance along Old Ivy Rd. Topography and trees within the ROW will reduce visibility of the</p> | <p>Consider using less severe grading and more blended landforms onsite and along property boundaries.</p> <p>Provide site sections and perspectives to clarify which areas of the development will be visible from the EC.</p> <p>Provide a landscape plan and site sections showing how the landscaping within the development will promote visual order and continuity along the corridor.</p> |
| 40 | <p>Site grading should maintain the basic relationship of the site to surrounding conditions by limiting the use of retaining walls and by shaping the terrain through the use of smooth, rounded land forms that blend with the existing terrain. Steep cut or fill sections are generally unacceptable. Proposed contours on the grading plan shall be rounded with a ten foot minimum radius where they meet the adjacent condition. Final grading should achieve a natural, rather than engineered, appearance. Retaining walls 6 feet in height and taller, when necessary, shall be terraced and planted to blend with the landscape.</p> | | |
| 7 | <p>The requirements of the Guidelines regarding landscaping are intended to reflect the landscaping characteristic of many of the area’s significant historic sites which is characterized by large shade trees and lawns. Landscaping should promote visual order within the Entrance Corridor and help to integrate buildings into the existing environment of the corridor.</p> | | |
| 8 | <p>Continuity within the Entrance Corridor should be obtained by planting different types of plant materials that share similar characteristics. Such</p> | | |

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| | <p>common elements allow for more flexibility in the design of structures because common landscape features will help to harmonize the appearance of development as seen from the street upon which the Corridor is centered.</p> | <p>development. Onsite, the proposal preserves existing terrain and wooded areas along the southern half of the EC frontage, approximately 670 feet south of the northwestern property corner. Retained wooded areas will be approximately 15-280 feet wide, but generally 15 feet in areas abutting proposed apartment buildings, which will reduce the visibility of the development from the EC, consistent with the character of the corridor. In areas without onsite wooded buffers, the plan notes a 20-foot-wide vegetated buffer will be provided. The design of the vegetated buffer was not provided with this submission, but a dense planting scheme would be consistent with the character of the corridor and would reduce visibility of the proposed buildings, some of which are located approximately 30 feet from the EC ROW and have their backs and sides oriented to the EC.</p> <p>As the proposed combination of landscaping, grading, retaining walls, and building heights will impact the visibility of the development from the EC, more information is needed to confirm which features of the site and structures will be visible from the EC and their degree of visibility.</p> | |
| | <p>Structure design</p> | | |
| 9 | <p>Building forms and features, including roofs, windows, doors, materials, colors and textures should be compatible with the forms and features of the significant historic buildings in the area, exemplified by (but not limited to) the buildings described in Appendix A [of the design guidelines]. The standard of compatibility can be met through scale, materials, and forms which may be embodied in architecture which is contemporary as well as traditional. The replication of important historic sites in Albemarle County is not the objective of these guidelines.</p> | <p>Architectural designs were not provided with the initial site plan so it is not known how form, shapes, scale, and materials will be used to provide continuity and compatibility throughout the development and relate to the local and regional contexts.</p> <p>Additional information is needed to confirm which features of the site and structures will be visible from the EC and their degree of visibility.</p> | <p>Provide site sections and perspectives to clarify areas of the development that will be visible from the EC.</p> <p>Provide architectural designs and a landscape plan with future submittals. Show how shapes, scale, and materials in visible areas will be used to provide continuity and compatibility throughout the</p> |

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| 10 | Buildings should relate to their site and the surrounding context of buildings. | | development and relate to the local and regional contexts. |
| 11 | The overall design of buildings should have human scale. Scale should be integral to the building and site design. | | |
| 12 | Architecture proposed within the Entrance Corridor should use forms, shapes, scale, and materials to create a cohesive whole. | | |
| 13 | Any appearance of “blankness” resulting from building design should be relieved using design detail or vegetation, or both. | | |
| 14 | Arcades, colonnades, or other architectural connecting devices should be used to unify groups of buildings within a development. | | |
| 15 | Trademark buildings and related features should be modified to meet the requirements of the Guidelines. | | |
| 16 | Window glass in the Entrance Corridors should not be highly tinted or highly reflective. Window glass in the Entrance Corridors should meet the following criteria: <i>Visible light transmittance (VLT) shall not drop below 40%. Visible light reflectance (VLR) shall not exceed 30%. Specifications on the proposed window glass should be submitted with the application for final review.</i> | | |
| Accessory structures and equipment | | | |
| 17 | Accessory structures and equipment should be integrated into the overall plan of development and shall, to the extent possible, be compatible with the building designs used on the site. | Although dumpster areas are located along the EC, a combination of existing wooded buffers in the ROW and proposed grading and landscaped buffers on the subject property may screen these features from view of the EC. The applicant has also indicated in conversations with staff that screening will be added around the refuse areas. | Provide materials detailing how refuse areas will be screened from the EC. |
| 18 | The following should be located to eliminate visibility from the Entrance Corridor street. If, after appropriate siting, these features will still have a negative visual impact on the Entrance Corridor street, screening should be provided to eliminate visibility. a. Loading areas, b. Service areas, c. Refuse areas, d. Storage areas, e. Mechanical | | Locate mechanical equipment to eliminate visibility from the EC and, on the site and architectural plans, show all equipment locations with complete details on proposed screening. |

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| | equipment, f. Above-ground utilities, and g. Chain link fence, barbed wire, razor wire, and similar security fencing devices. | | |
| 19 | Screening devices should be compatible with the design of the buildings and surrounding natural vegetation and may consist of: a. Walls, b. Plantings, and c. Fencing. | | |
| 21 | The following note should be added to the site plan and the architectural plan: "Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated." | The plan does not include the standard mechanical equipment note. | Include the standard mechanical equipment note on the site plan and architectural drawings. |
| 22-31 | Lighting | A lighting plan was not included in the initial site plan. | Provide a lighting plan with future submittals that satisfies all guidelines requirements. |
| | Landscaping | | |
| 32 | <p>Landscaping along the frontage of Entrance Corridor streets should include the following:</p> <p>a. Large shade trees should be planted parallel to the Entrance Corridor Street. Such trees should be at least 3½ inches caliper (measured 6 inches above the ground) and should be of a plant species common to the area. Such trees should be located at least every 35 feet on center.</p> <p>b. Flowering ornamental trees of a species common to the area should be interspersed among the trees required by the preceding paragraph. The ornamental trees need not alternate one for one with the large shade trees. They may be planted among the large shade trees in a less regular spacing pattern.</p> <p>c. In situations where appropriate, a three or four board fence or low stone wall, typical of the area, should align the frontage of the Entrance Corridor street.</p> <p>d. An area of sufficient width to accommodate the foregoing plantings and fencing should be reserved parallel to the Entrance Corridor street,</p> | <p>A landscape plan was not included in the initial site plan, although the plan shows 15-20 foot wooded and vegetated buffers are provided between the EC street and adjacent residential developments.</p> <p>The locations of proposed buffers are consistent with the existing character of the corridor; however, the design of the vegetated buffer was not provided with this submission. A dense planting scheme would be consistent with the character of the corridor and would reduce visibility of proposed buildings, some of which are located approximately 30 feet from the EC ROW and have their backs or sides oriented to the EC.</p> | Provide a landscape plan with future submittals. Include trees and plantings that can provide a dense, planted buffer between the EC and proposed structures. |

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| | and exclusive of road right-of-way and utility easements. | | |
| 33 | <p>Landscaping along interior roads:</p> <p>a. Large trees should be planted parallel to all interior roads. Such trees should be at least 2½ inches caliper (measured six inches above the ground) and should be of a plant species common to the area. Such trees should be located at least every 40 feet on center.</p> | No interior roads are proposed. | None at this time. |
| 34 | <p>Landscaping along interior pedestrian ways:</p> <p>a. Medium trees should be planted parallel to all interior pedestrian ways. Such trees should be at least 2½ inches caliper (measured six inches above the ground) and should be of a species common to the area. Such trees should be located at least every 25 feet on center.</p> | A landscape plan was not included in the initial site plan. It is anticipated that some of the proposed pedestrian ways, parking areas, buildings, and other structures will not be visible from the EC given proposed grading and landscaping. These guidelines can be assessed when visibility of these features is better understood. | None at this time. |
| 35 | <p>Landscaping of parking areas:</p> <p>a. Large trees should align the perimeter of parking areas, located 40 feet on center. Trees should be planted in the interior of parking areas at the rate of one tree for every 10 parking spaces provided and should be evenly distributed throughout the interior of the parking area.</p> <p>b. Trees required by the preceding paragraph should measure 2½ inches caliper (measured six inches above the ground); should be evenly spaced; and should be of a species common to the area. Such trees should be planted in planters or medians sufficiently large to maintain the health of the tree and shall be protected by curbing.</p> <p>c. Shrubs should be provided as necessary to minimize the parking area's impact on Entrance Corridor streets. Shrubs should measure 24 inches in height.</p> | | |
| 36 | <p>Landscaping of buildings and other structures:</p> <p>a. Trees or other vegetation should be planted along the front of long buildings as necessary to</p> | | |

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| | <p>soften the appearance of exterior walls. The spacing, size, and type of such trees or vegetation should be determined by the length, height, and blankness of such walls.</p> <p>b. Shrubs should be used to integrate the site, buildings, and other structures; dumpsters, accessory buildings and structures; “drive thru” windows; service areas; and signs. Shrubs should measure at least 24 inches in height.</p> | | |
| 37 | <p>Plant species: a. Plant species required should be as approved by the Staff based upon but not limited to the <i>Generic Landscape Plan Recommended Species List</i> and <i>Native Plants for Virginia Landscapes (Appendix D)</i>.</p> | <p>A landscape plan was not included with the initial site plan.</p> | <p>Provide a landscape plan with future submittals. Include a plant list that aligns with the county’s approved plant list.</p> |
| 38 | <p>Plant health: The following note should be added to the landscape plan: “All site plantings of trees and shrubs shall be allowed to reach, and be maintained at, mature height; the topping of trees is prohibited. Shrubs and trees shall be pruned minimally and only to support the overall health of the plant.”</p> | <p>The required note is not provided on the plan.</p> | <p>Include the standard planting note on the site plan.</p> |
| | <p><i>Site Development and layout</i></p> | | |
| | <p>Development pattern</p> | | |
| 39 | <p>The relationship of buildings and other structures to the Entrance Corridor street and to other development within the corridor should be as follows:</p> <p>a. An organized pattern of roads, service lanes, bike paths, and pedestrian walks should guide the layout of the site.</p> <p>b. In general, buildings fronting the Entrance Corridor street should be parallel to the street. Building groupings should be arranged to parallel the Entrance Corridor street.</p> <p>c. Provisions should be made for connections to adjacent pedestrian and vehicular circulation systems.</p> | <p>Generally, the proposed development does not have a relationship with the EC. Roadways within the development are not arranged in an ordered or predictable pattern and many buildings turn their backs or sides to the EC. However, the layout of the roads and buildings is consistent with the concept plan that was approved with the rezoning.</p> <p>Sidewalks are provided around buildings and throughout the development. The development also proposes a new sidewalk along Old Ivy Rd., from the southeastern corner of the property, ending approximately 120 feet east of the EC on-ramp. A segment of the Rivanna Trail is also located on the property. It will be relocated in coordination with the</p> | <p>None at this time.</p> |

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| | <p>d. Open spaces should be tied into surrounding areas to provide continuity within the Entrance Corridor.</p> <p>e. If significant natural features exist on the site (including creek valleys, steep slopes, significant trees or rock outcroppings), to the extent practical, then such natural features should be reflected in the site layout. If the provisions of Section 32.5.2.n of the <i>Albemarle County Zoning Ordinance</i> apply, then improvements required by that section should be located so as to maximize the use of existing features in screening such improvements from Entrance Corridor streets.</p> <p>f. The placement of structures on the site should respect existing views and vistas on and around the site.</p> | <p>Rivanna Trails Foundation and County Parks & Recreation staff.</p> <p>Open spaces on the property are generally located in the center of the development around an existing pond and along the EC while proposed improvements and buildings are located along property edges. The plan retains existing wooded areas along most of the EC frontage, except for approximately 670 feet at the northern end. A 20-foot-wide vegetated buffer is labelled in this area, but details on its composition have not yet been submitted.</p> <p>No significant views or vistas have been identified to date on this property.</p> | |
| | Site Grading (continued) | | |
| 41 | No grading, trenching, or tunneling should occur within the drip line of any trees or other existing features designated for preservation in the final Certificate of Appropriateness. Adequate tree protection fencing should be shown on, and coordinated throughout, the grading, landscaping and erosion and sediment control plans. | The development will retain portions of existing wooded areas on the property, although notes, locations, or tree protection details are not currently provided on the plan to ensure that these areas will not be harmed during construction. | Revise the plan to include tree protection fencing details and locations on the grading, landscaping, and erosion and sediment control plans. |
| 42 | Areas designated for preservation in the final Certificate of Appropriateness should be clearly delineated and protected on the site prior to any grading activity on the site. This protection should remain in place until completion of the development of the site. | | |
| 43 | Preservation areas should be protected from storage or movement of heavy equipment within this area. | | |
| 20 | Surface runoff structures and detention ponds should be designed to fit into the natural topography to avoid the need for screening. When visible from the Entrance Corridor street, these features must be | A large existing pond and two smaller, seasonal ponds are located near the center of the subject property. The grading plan shows steep slopes existing on the northern side of the pond. Proposed grading will | None at this time. |

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| | fully integrated into the landscape. They should not have the appearance of engineered features. | significantly increase the slopes to extend around the northern half of the pond areas and create slopes ranging between 21.2% and 51.7%. | |
| 44 | Natural drainage patterns (or to the extent required, new drainage patterns) should be incorporated into the finished site to the extent possible. | Overall, the plan shows that the ponds will continue to serve as a natural drainage feature. The ponds are not expected to be visible from the EC. | |

SUMMARY OF RECOMMENDATIONS

Staff recommends the following as the primary points of discussion:

1. Visibility of the development from the EC
2. Wooded and vegetated buffers
3. Site grading and retaining walls
4. Future ARB reviews

Staff recommends that the ARB forward the following recommendations to the Agent for the Site Review Committee:

- Regarding requirements to satisfy the design guidelines as per § 18-30.6.4c(2), (3) and (5) and recommended conditions of initial plan approval:
 - Prior to Initial Plan approval the following items shall be resolved to the satisfaction of the ARB: None.
- Regarding recommendations on the plan as it relates to the guidelines:
 - Provide site sections and perspectives as a separate submittal to determine the level of ongoing ARB review that is needed.
- Regarding conditions to be satisfied prior to issuance of a grading permit:
 1. Maintain grading outside the driplines of trees to remain. Show tree protection fencing on, and coordinated throughout, the grading, landscaping, and erosion and sediment control plans.
- Regarding future submittals:

A Certificate of Appropriateness is required prior to final site plan approval. The following items and all items on the ARB Final Site Plan Checklist must be addressed:

 1. Provide architectural designs and a landscape plan with future submittals. Demonstrate how architectural design elements that are characteristic of the corridor and larger regional context will be integrated into the development, how building shapes, scale, and materials will be used to provide continuity and compatibility throughout the development, and how landscaping, architectural details, and/or design features will create a sense of unity and cohesiveness throughout the development and along the corridor.
 2. If the single-family detached units will be on individual parcels, note that they are being shown on the plan for information only and add a line that defines the area associated with the single-family detached units.

3. Revise retaining walls visible from the EC to not exceed 6 feet in height.
4. Provide site sections and perspectives to clarify which areas of the development will be visible from the EC.
5. Provide a landscape plan and site sections showing how the landscaping within the development will promote visual order and continuity along the corridor.
6. Revise the site plan to show how refuse areas will be screened from the EC.
7. Locate mechanical equipment to eliminate visibility from the EC and, on the site and architectural plans, show all equipment locations with complete details on proposed screening.
8. Include the standard mechanical equipment note on the site plan and architectural drawings: “Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated.”
9. Provide a landscape plan with future submittals.
 - a. Include trees and plantings that can provide a dense, planted buffer between the EC and proposed structures.
 - b. Show compliance with the landscaping guidelines.
 - c. Include a plant list that aligns with the county’s approved plant list.
 - d. Include the standard planting note on the site plan: “All site plantings of trees and shrubs shall be allowed to reach, and be maintained at, mature height; the topping of trees is prohibited. Shrubs and trees shall be pruned minimally and only to support the overall health of the plant.”
10. Revise the plan to include tree protection fencing details and locations on the grading, landscaping, and erosion and sediment control plans.
11. Consider using less severe grading and more blended landforms onsite and along property boundaries.

ATTACHMENTS

Attach. 1: [ARB2023-86: Old Ivy Residences – Initial Site Plan](#)