



RESIDENTIAL PERMIT APPLICATION CHECKLIST

Minimum Information for Application Submittal

All documents must be submitted with your application.

- Signed, recorded plat:** *Modified 3-30-22*
One copy of all pages of the latest signed recorded plat – digital format preferred

- Site Plan:** *Modified 12-8-21*
 - Locate the proposed building location on the property
 - Include eaves and overhangs
 - Show
 - Property lines,
 - Distances from property lines,
 - Setbacks
 - Easements, and
 - Well location and septic drain field, if any.

- Modified 3-30-22* **One set of *construction drawings* in 1/4" scale (digital format preferred) to include the following:**
 - **Foundation Plan:** Show
 - Dimensions of foundation
 - Wall thickness and type
 - Footing width and thickness
 - Pier locations and sizes
 - Backfill height.
 - **Floor Plan(s):**
 - Show basement, first floor, second floor, etc., as applies
 - Label rooms and include dimensions, including door and window sizes.
 - Provide kitchen and bathroom layout.
 - **Floor Framing Plan including decks:**
 - Show size and spacing of floor joists
 - Include beam sizes and post locations
 - List the species and grades of lumber. (Engineered products need manufacturer's information submitted.)
 - If using manufactured trusses, the shop drawings must be on the job site at the time of the inspection. Depending on the complexity of the project, the County Plans Reviewer may require truss calculations and point loads to be reviewed prior to permit issuance.
 - Show all stair details including rise/run, guardrail/handrail details.
 - **Roof Framing Plan:**
 - Show size, span and spacing of rafters.
 - Show rise and run of the roof and sheathing size and material.
 - Identify roofing material.
 - Include beam sizes and post locations.

- List the species and grades of lumber. (Engineered products need manufacturer’s information submitted.)
 - If using manufactured trusses, the shop drawings must be on the job site at the time of the inspection. Depending on the complexity of the project, the County Plans Reviewer may require truss calculations and point loads to be reviewed prior to permit issuance.
 - Typical Wall Section:
 - Indicate the size, spacing and length of studs.
 - For any wall openings greater than 4 feet please show header sizes.
 - Provide all insulation and building finish information.
 - Identify all material information from footer to roof covering.
 - Elevations (Building Height):
 - Show front, rear, and 2 side elevations or dimensions to demonstrate building height.
- **Application**
 - All required fields identified on the permit application shall be filled in with the appropriate information.
 - Boxes not applicable shall be marked as N/A.
 - **A detailed description of the proposed work to be performed shall be provided.**
 - Applicant, General Contractor, and Owner information is required and shall include contact phone number, email address, and signatures as noted on the application.
- **Well and septic construction permit issued by the Virginia Department of Health (VDH) and/or Albemarle County Service Authority (ACSA) approval**
 - A construction permit for the well and septic issued by VDH or ACSA approval **MUST BE RECEIVED PRIOR TO ISSUANCE OF THE PERMIT** (effective 10-5-21).
 - Onsite Engineered Systems designs are **NOT** an alternative to a construction permit issued by the VDH or ACSA. Contact respective agency for approval.
- **Virginia Department of Transportation private entrance permit approval.** *Modified 12-9-21.*
 - An approved VDOT private entrance permit must be submitted along with your building permit application when a new entrance is being created to access the property from a state-maintained roadway. Please contact the VDOT Residency Office located at 701 VDOT Way, Charlottesville, VA 22911 for more information.
- **Private well groundwater testing in compliance with Code of Albemarle County, Virginia Chapter 5, Article 5 – Private Ground Water Well Testing see information below.**
For those properties identified in a possible contamination zone, BTEX paperwork must be completed and submitted with the building permit application. See instructions at the end of this CHECKLIST to verify whether you need to submit private ground water well testing results.
- **Address**
Provide detailed directions to the property as some parcels have not been given an address by the County prior to issuance of the permit. The directions should start from a major roadway to the jobsite.

- **Engineering documentation** *Modified 12-9-21.*
 - If the land disturbance is less than 10,000 square feet and is not within a common plan of development (e.g. a subdivision), engineering documentation is not required.
 - If the land disturbance area is within a common plan of development and is less than 1 acre (43,560 square feet), complete and submit the following:
 - Erosion and Sediment Control Agreement (which includes the Responsible Land Disturber (RLD))
 - Stormwater Management Agreement
 - Stormwater Pollution Prevention Plan (SWPPP) for Single Family
 - Critical Resources Plan
 - Mitigation Plan, if there are stream buffer impacts (e.g. a driveway crossing a stream)
 - DEQ (Department of Environmental Quality) Construction General Permit for Single Family Homes.
 - If the land disturbance area is equal to or greater than 10,000 square feet and less than 1 acre (43,560 square feet), and is not within a common plan of development (e.g. a subdivision), complete and submit the following:
 - Erosion and Sediment Control Agreement (which includes the Responsible Land Disturber (RLD))
 - Critical Resources Plan
 - Mitigation Plan, if there are stream buffer impacts (e.g. a driveway crossing a stream)
 - DEQ Construction General Permit for Single Family.
 - If the land disturbance area is equal to or greater than 1 acre, submit the following:
 - A copy of the Land Disturbance Permit
 - A copy of the stamped and approved Erosion and Sediment Control Plan
 - All documents must accompany the application at submittal.

- **Payment of Fees**
 - Fees are due at time of submittal.

- **Business License(s)**
 - All Contractors/Sub-Contractors shall maintain an active Albemarle County Business License.
 - For business license information, contractors may contact the [Albemarle County Finance Department](#) or at (434) 296-5851 option 3.

- **Scottsville residents only**

Provide zoning approval issued by the Scottsville Town Administrator Matt Lawless (mlawless@scottsville.org).

IMPORTANT! NEW 1/2023

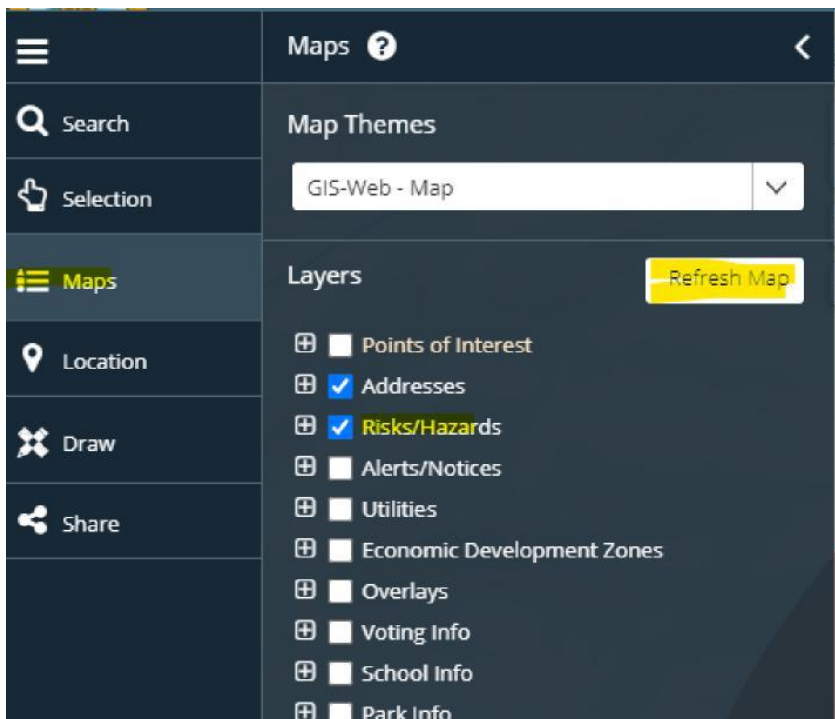
To comply with the 2018 Virginia Energy Conservation Code Albemarle County will be requiring additional information for residential permits that involve repairing, replacing, or adding duct work. HVAC [Forms and Affidavits](#) must be completed **PRIOR** to scheduling the mechanical rough-in inspection. Documents can be submitted through our digital submission portal by using the link [here](#).

How to verify whether you need to submit your Private Well Groundwater Testing Results for Benzene, Toluene, Ethylbenzene, and Xylenes (BTEX):

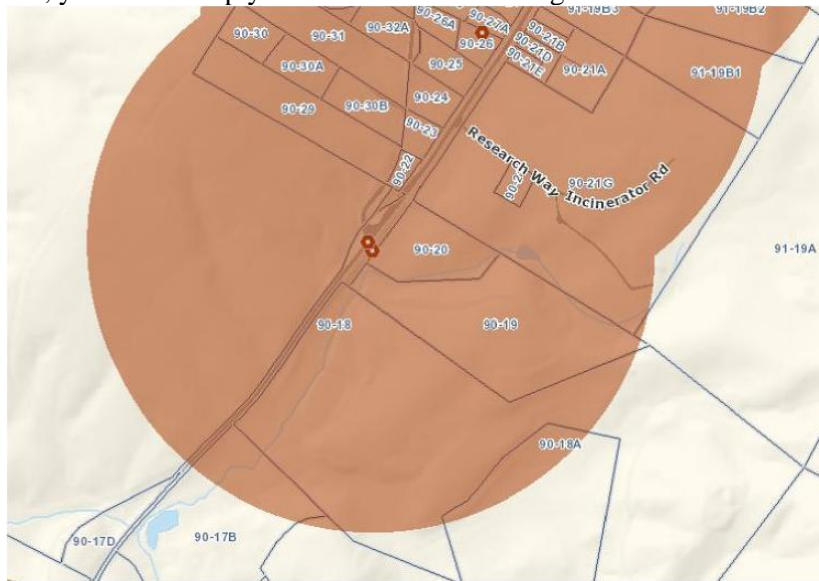
1. Visit the Geographic Information System by clicking on this link: [GIS web Albemarle County](#)
2. Enter either your address OR your Tax Map Parcel ID in the Search boxes and then click on the ‘Search’ button.



3. Click on the ‘Maps’ button and choose “Risks/Hazards” and then click on the ‘Refresh Map’ button.



4. If your property is located within the brown area (possible contamination zone) as shown below, you must comply with the Private Well regulations.



5. The link to the Private Ground Water Well regulations is [here](#).
6. Per Section 5-504 – Building permit; withholding,

*Each applicant for a building permit for a structure to be served by a private ground water well as the primary potable water supply within an active contamination area **shall present the report containing the test results** required by County Code [§ 5-503](#) before a building permit for the structure is issued by the County:*

A. No contaminants detected. The County shall issue the building permit if there are no test contaminants detected at or below the federal Safe Drinking Water Act standards identified in County Code [§ 5-503\(B\)](#), provided that all other applicable requirements are satisfied.

B. Contaminants detected; exceed applicable standards. The County shall not issue a building permit if one or more test contaminants are detected and they exceed the federal Safe Drinking Water Act standards identified in County Code [§ 5-503\(B\)](#), unless and until the applicant has identified and provided an approved alternative primary potable water supply.

END OF CHECKLIST